

BID ADDENDUM

DESIGN AND CONSTRUCTION (FACILITIES)

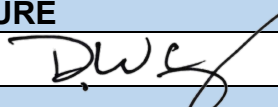


| PROJECT NUMBER | PROJECT TITLE | | |
|---|--------------------------------|----------------|------------|
| 23-02258 | Queens Elevators – Watson Hall | | |
| PROJECT LOCATION / ADDRESS | | DATE ISSUED | ADDENDUM # |
| Watson Hall, 49 Bader Lane, Kingston ON | | April 16, 2026 | 01 |

This addendum is issued to: ☐ CONSULTANT ☒ CONTRACTOR

The following changes to the Bid Documents are effective immediately. This Addendum will form part of the Contract Documents. The Bidder will acknowledge receipt of this Addendum on the last page of the Schedule 2 Bid Form.

| ITEM | DESCRIPTION |
|------|--|
| 1. | THE CLOSING DATE FOR THIS REQUEST FOR PROPOSALS HAS BEEN EXTENDED TO MAY 7, 2026 BEFORE 3:00PM The deadline for Proponent Questions has been extended to April 23, 2026 |
| 2. | Please refer to the attached Addendum No.1, Issued by G Architects Inc, April 16, 2026 (11 Pages). |
| 3. | |
| 4. | |

| PROJECT MANAGER | SIGNATURE |
|-----------------|--|
| David Waite |  |
| PHONE NUMBER | EMAIL |
| 613-876-2659 | Dw99@queensu.ca |

END OF ADDENDUM

Architectural Addendum No. 1

Issued: April 16, 2026

Queen's Elevator Project – John Watson Hall

Kingston, Ontario

Issued by:

G architects Inc.

945 Princess St

Kingston, ON

K7L 0E9



The Addendum consists of the following changes noted below:

A. REVISIONS TO ARCHITECTURAL DRAWINGS

- A.1 Revise expansion joint cover tags to match specifications in A6-20 and A6-30.
- A.2 Revise firestop products to match specifications in A6-20, A6-21, A6-22, A6-30, and A6-31.
- A.3 Revise Basement floor finishes to match specifications in A7-40.

B. CLARIFICATIONS OF ARCHITECTURAL DRAWINGS

- B.1 None.

C. REVISIONS TO SPECIFICATIONS

- C.1 Remove lifeline systems and add aluminum ladder as an acceptable alternative in section 05 50 00 - Metal Fabrications.

D. REVISIONS TO SCHEDULES BOUND IN SPECIFICATIONS

- D.1 None.

E. STRUCTURAL REVISIONS

- E.1 Add sump pit typical details to S005.

F. MECHANICAL REVISIONS

- F.1 None.

G. ELECTRICAL REVISIONS

- G.1 None.

H. SITE SERVICES REVISIONS

- H.1 None.

J. QUESTIONS

1. The spec says the ladders are lifeline ladders, however neither the pit ladder nor the roof ladder is high enough to need a lifeline system attached. Is this required?

Answer: All ladders are less than 3 meters in height, so lifeline systems are not required.

2. The spec says to galvanize exterior ladder, and paint interior ladder. Our ladders are aluminum and do not need to have a finish to protect them – is this required?

Answer: Aluminum ladders are an acceptable alternative.

3. Where is the geotechnical report?

Answer: Please refer to specification IFT Vol3 for the geotechnical report.

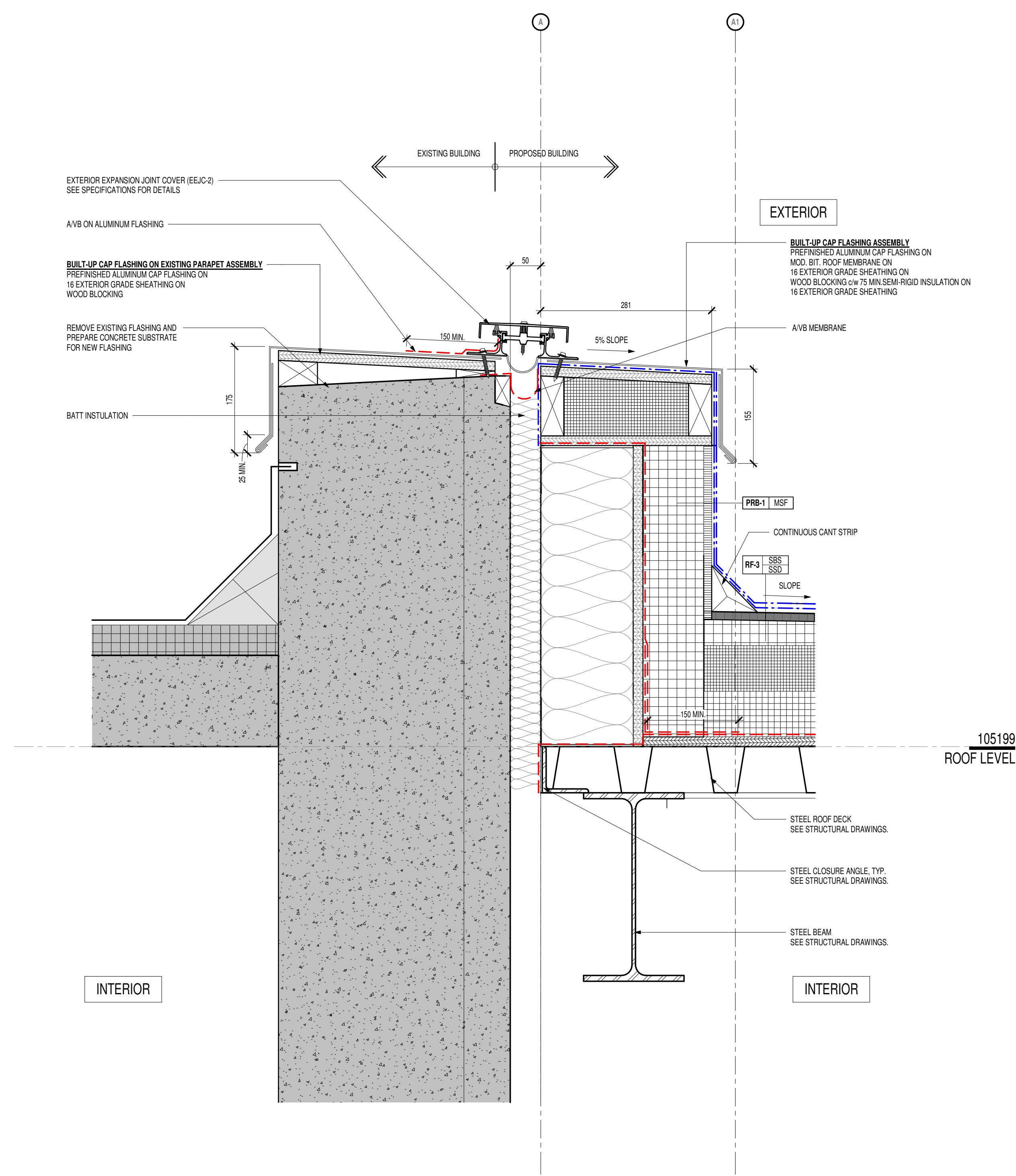
4. Where to find information about the thickness of block walls?

Answer: Please refer to the Masonry Wall Schedule in S600 for detailed information on the specific thickness of block walls.

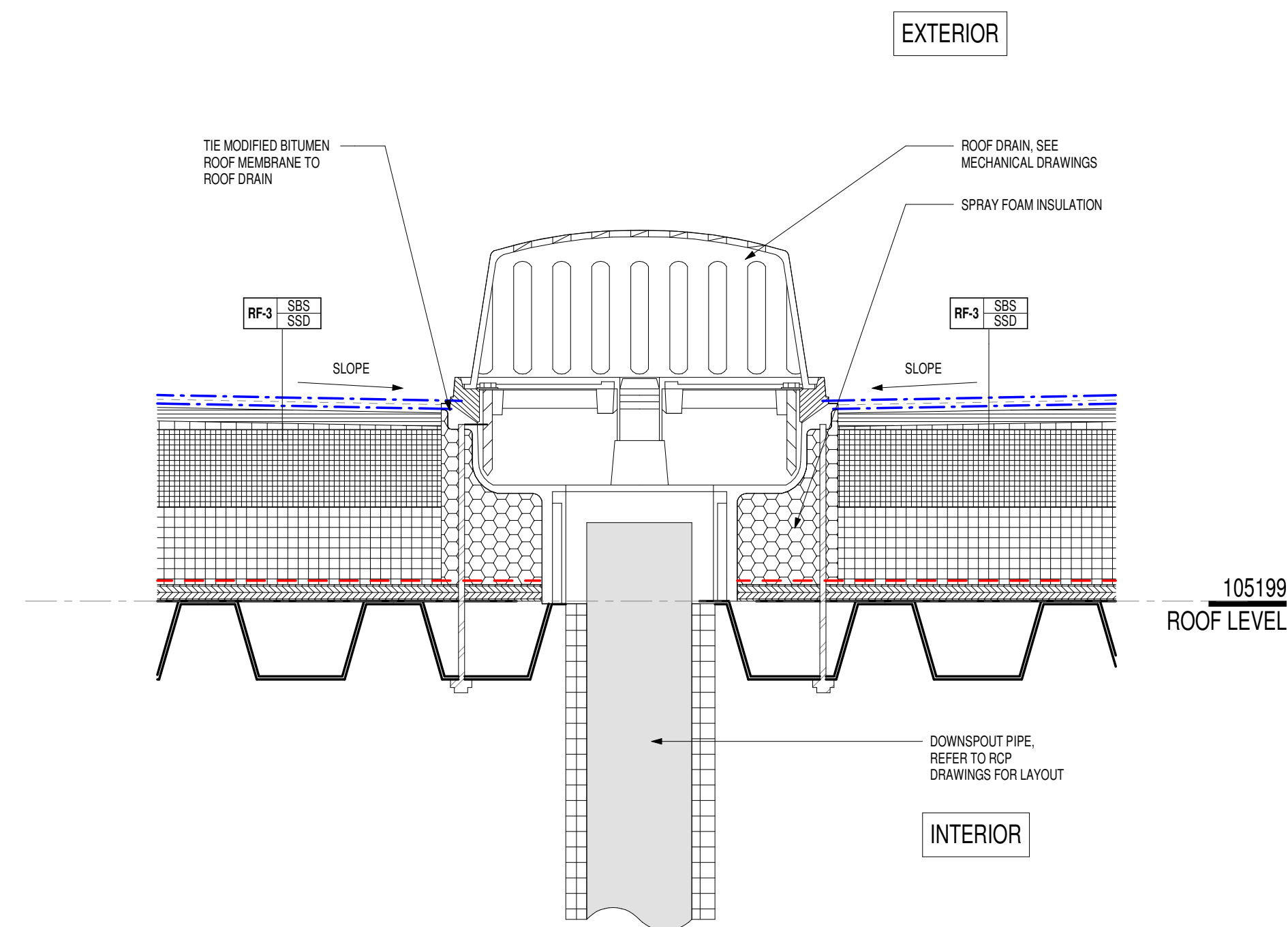
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END OF ADDENDUM 01

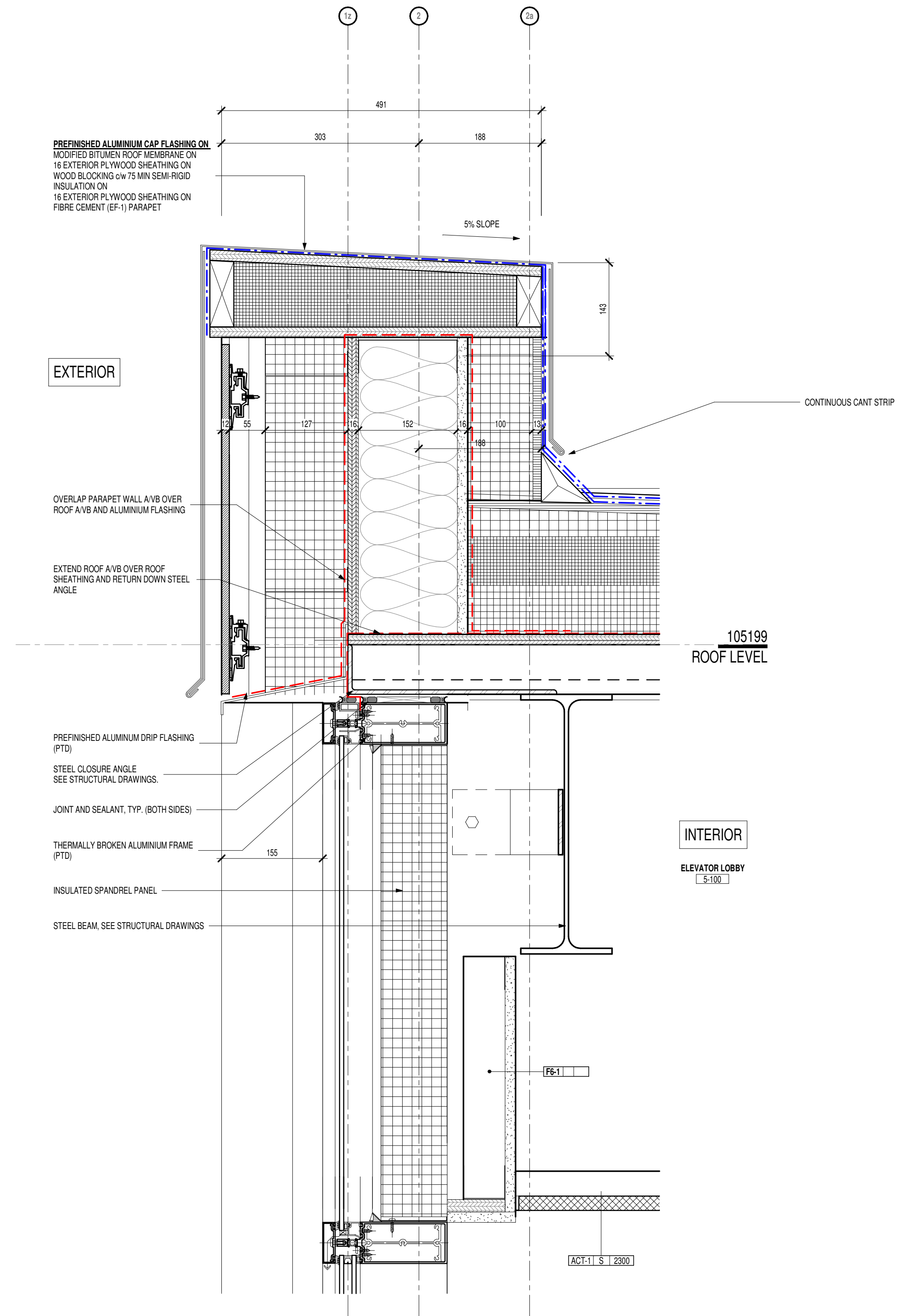




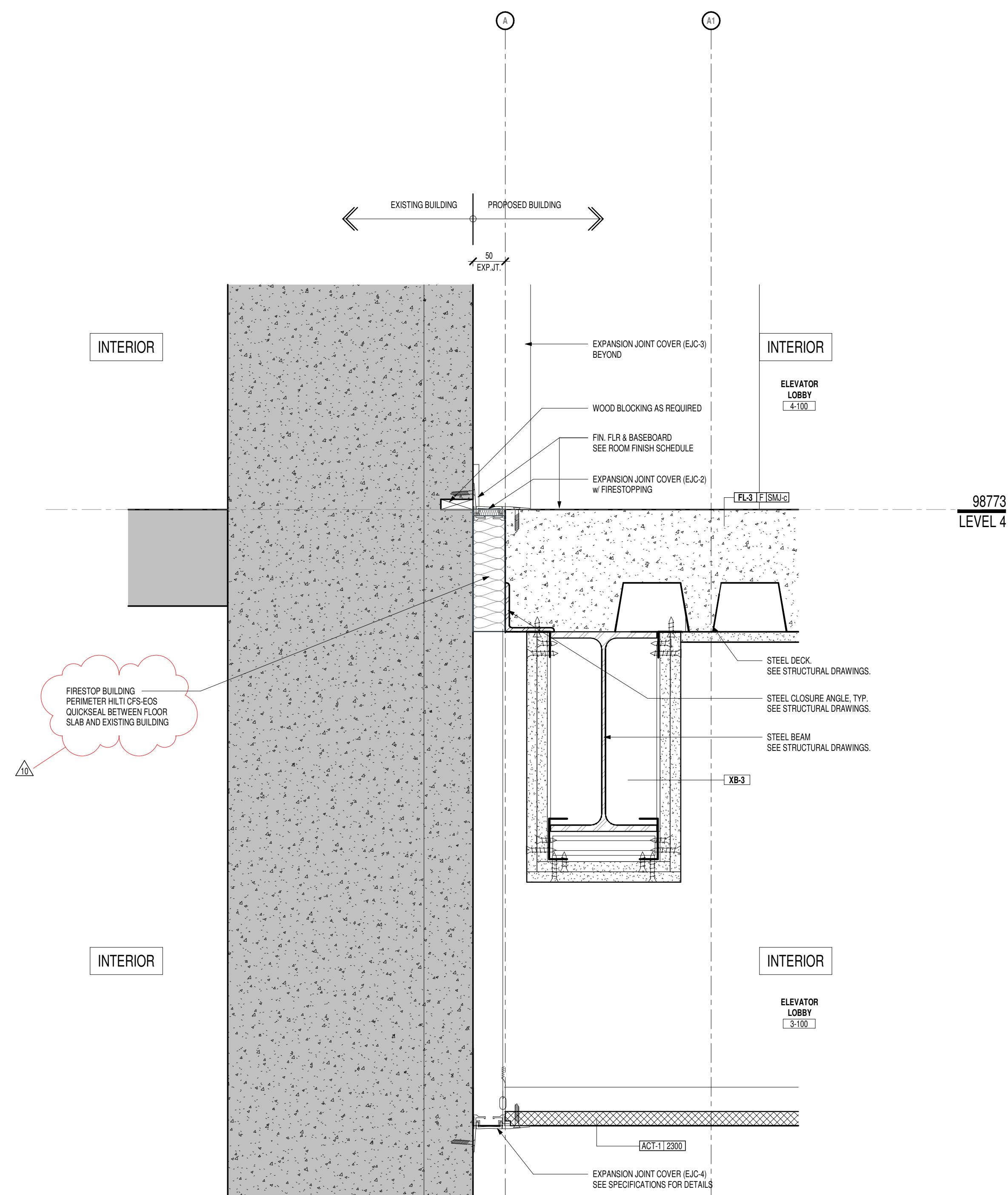
6 SECTION DETAIL - EXPANSION JOINT THRU PARAPET & EXISTING STONE PARAPET
1:5



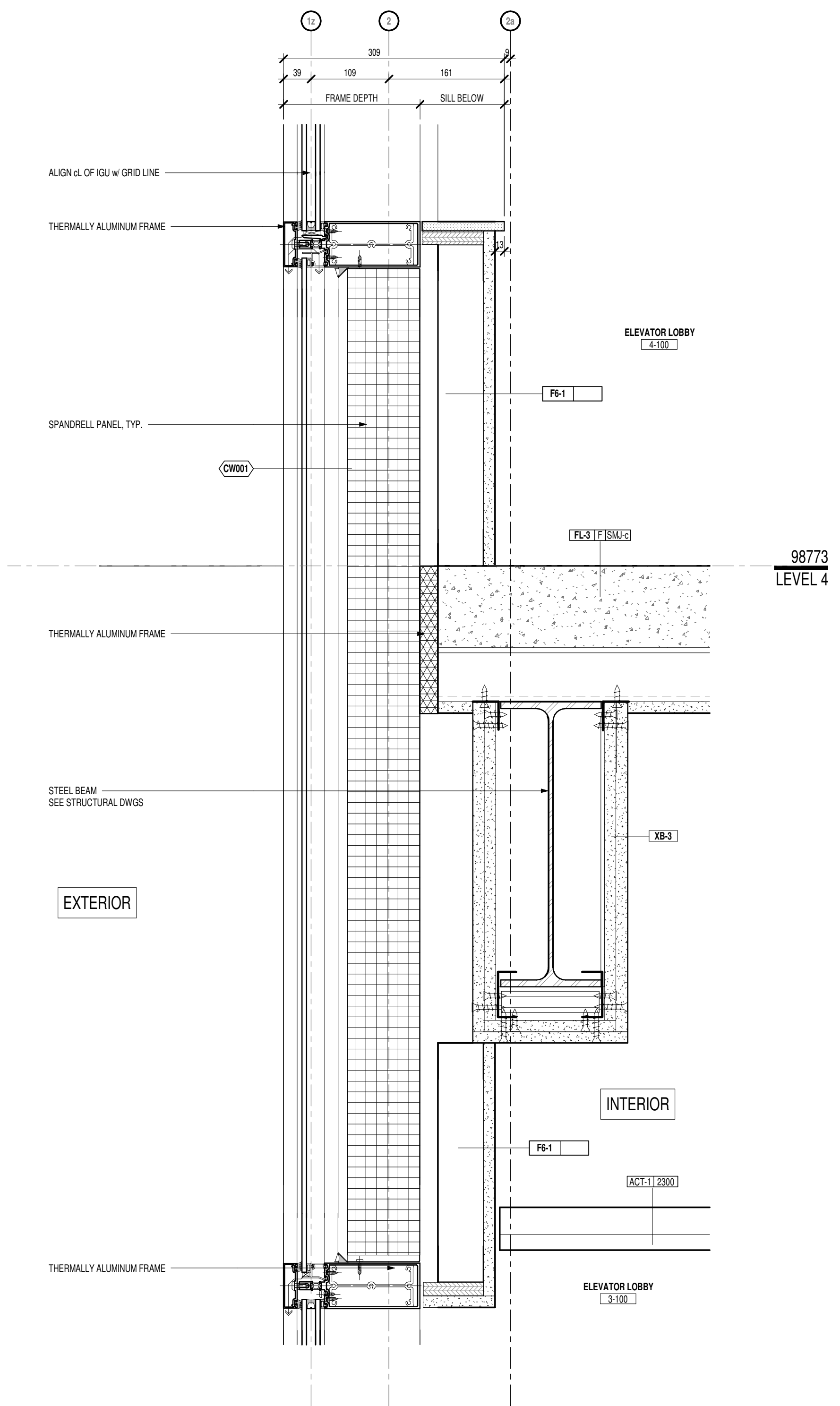
4 SECTION DETAIL - ROOF DRAIN TYP.
1:5



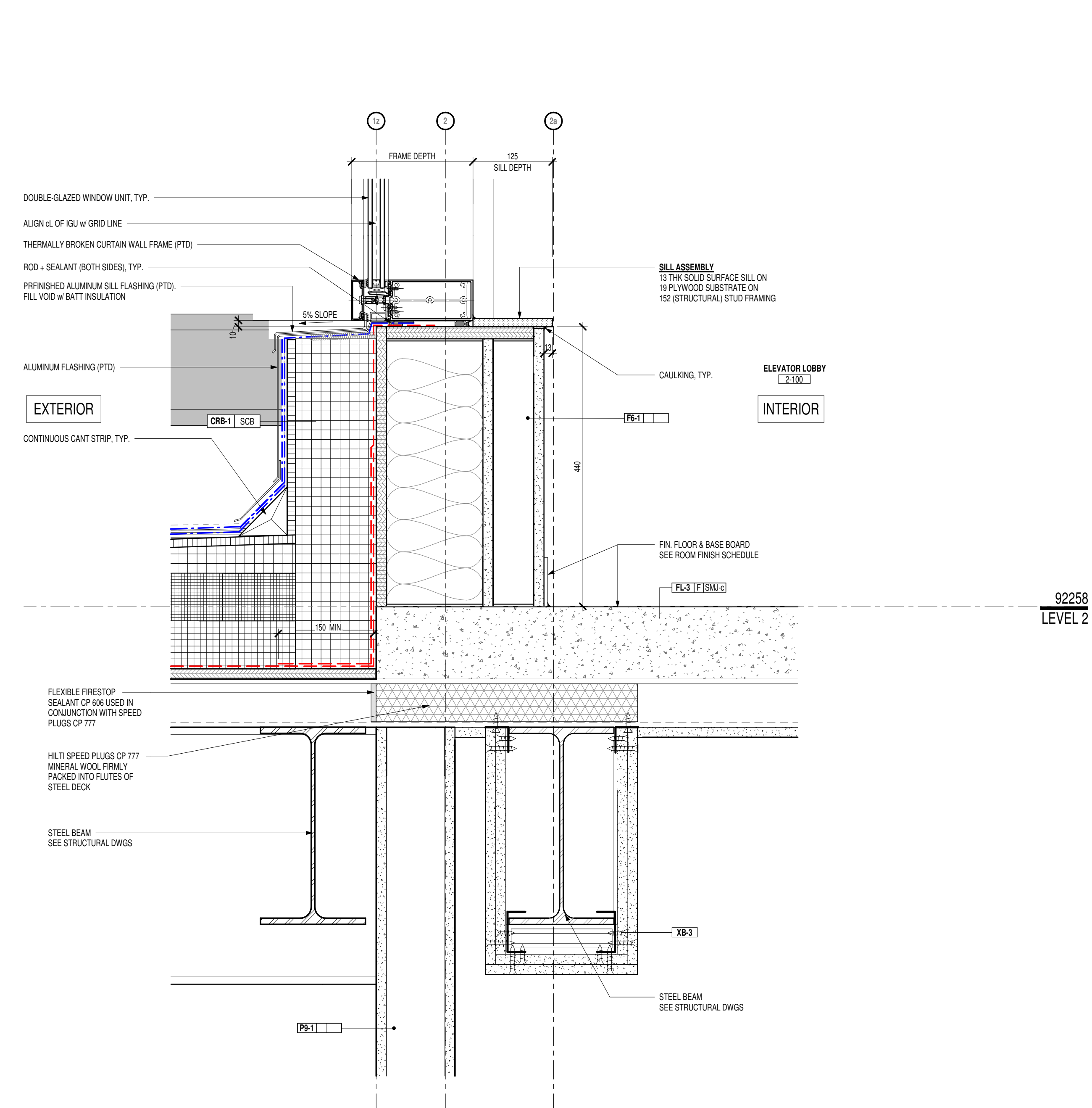
2 SECTION DETAIL - PARAPET AT CURTAIN WALL
1:5



5 SECTION DETAIL - FLOOR EXPANSION JOINT THRU EXISTING WALL
1:5



3 SECTION DETAIL - CURTAIN WALL INTERMEDIATE AT FLOOR CONNECTION TYP.
1:5



1 SECTION DETAIL - LV 2 CURTAIN WALL SILL
1:5

| | | | |
|----|------------|---------------------------------|----|
| 14 | 2026-04-15 | Issued for Addendum No.1 | G |
| 13 | 2026-02-13 | Issued for Tender | G |
| 10 | 2025-12-12 | Re-issued for Building Permit | G |
| 8 | 2025-06-05 | Issued for 68% CD Client Review | G |
| # | Date | Revision | By |

All drawings and specifications are the property of the Architect. The Contractor shall verify all dimensions and information on site and report any discrepancy to the Architect before proceeding.

Queen's Elevators - John Watson Hall
John Watson Hall, Kingston, ON K7L 2S7
Client: Queen's University
Project No. 24084

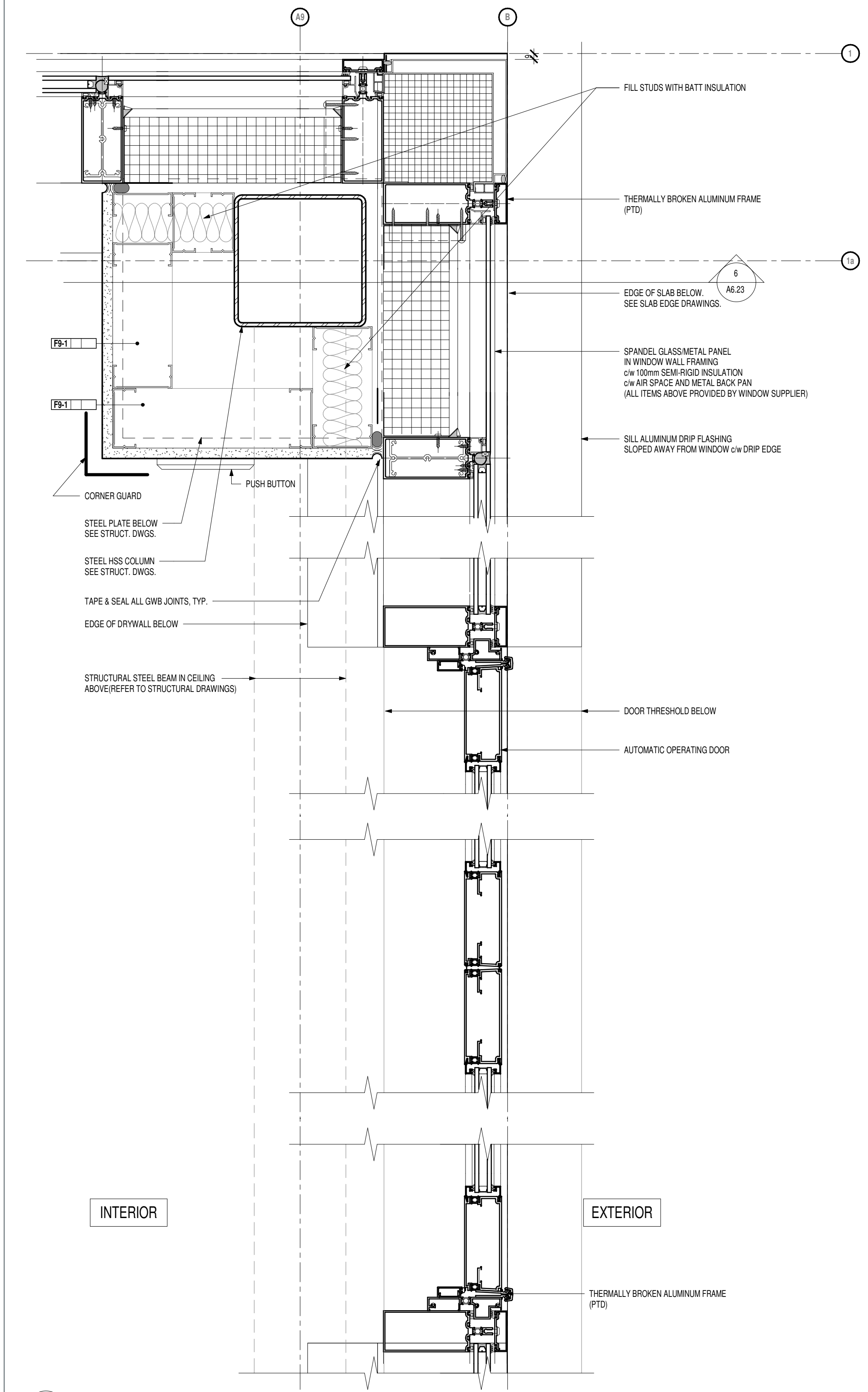
EXTERIOR SECTION DETAILS

Scale: 1:5
Drawn By: Author
Reviewed By: Checker
Revision No. 10
Plot Date: 2026-04-15

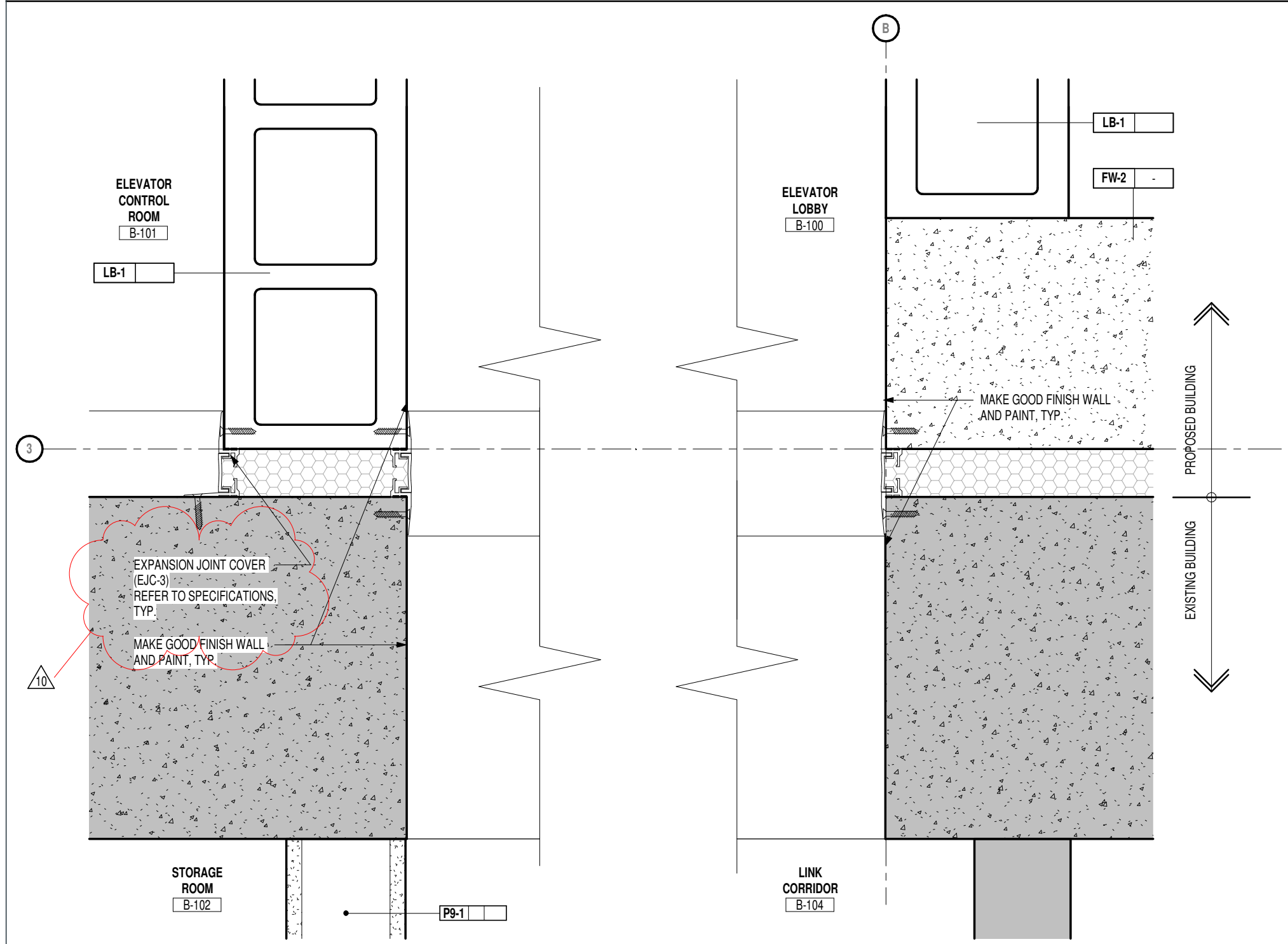
Drawing No.

A6.21

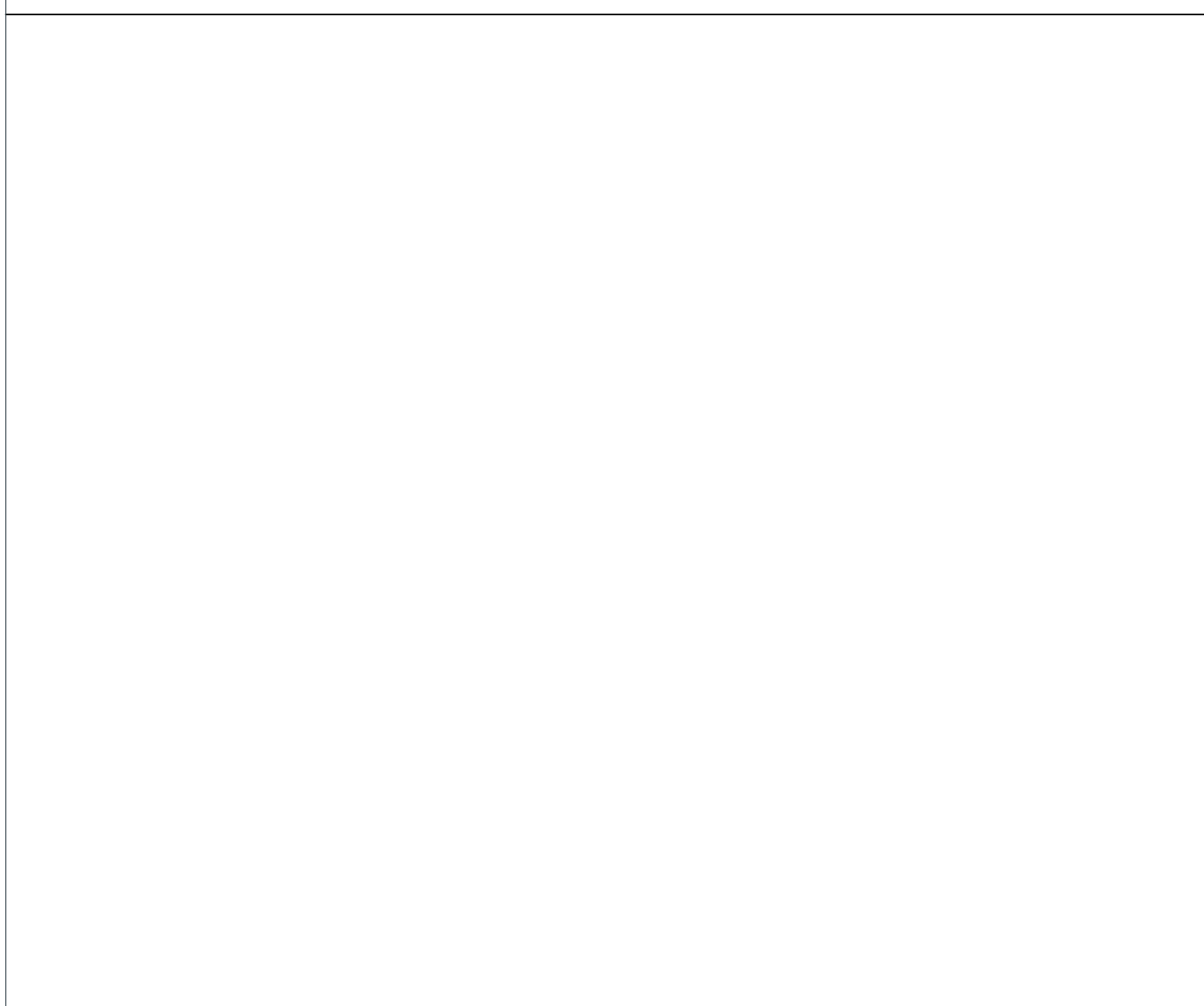




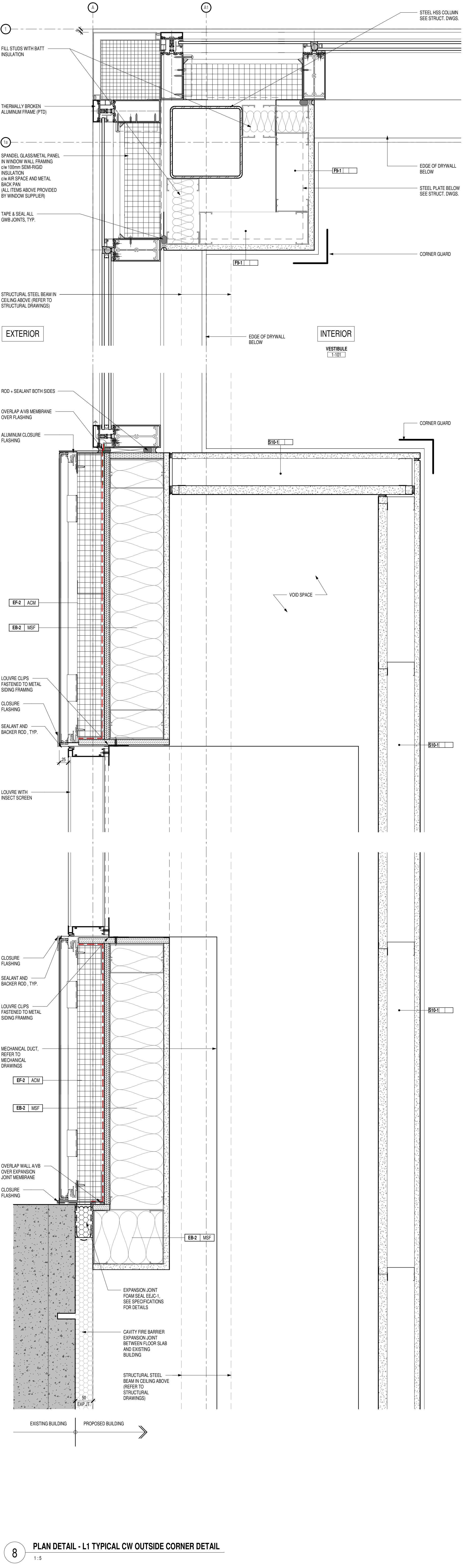
11 PLAN DETAIL - MAIN ENTRANCE DOOR JAMB
1:5



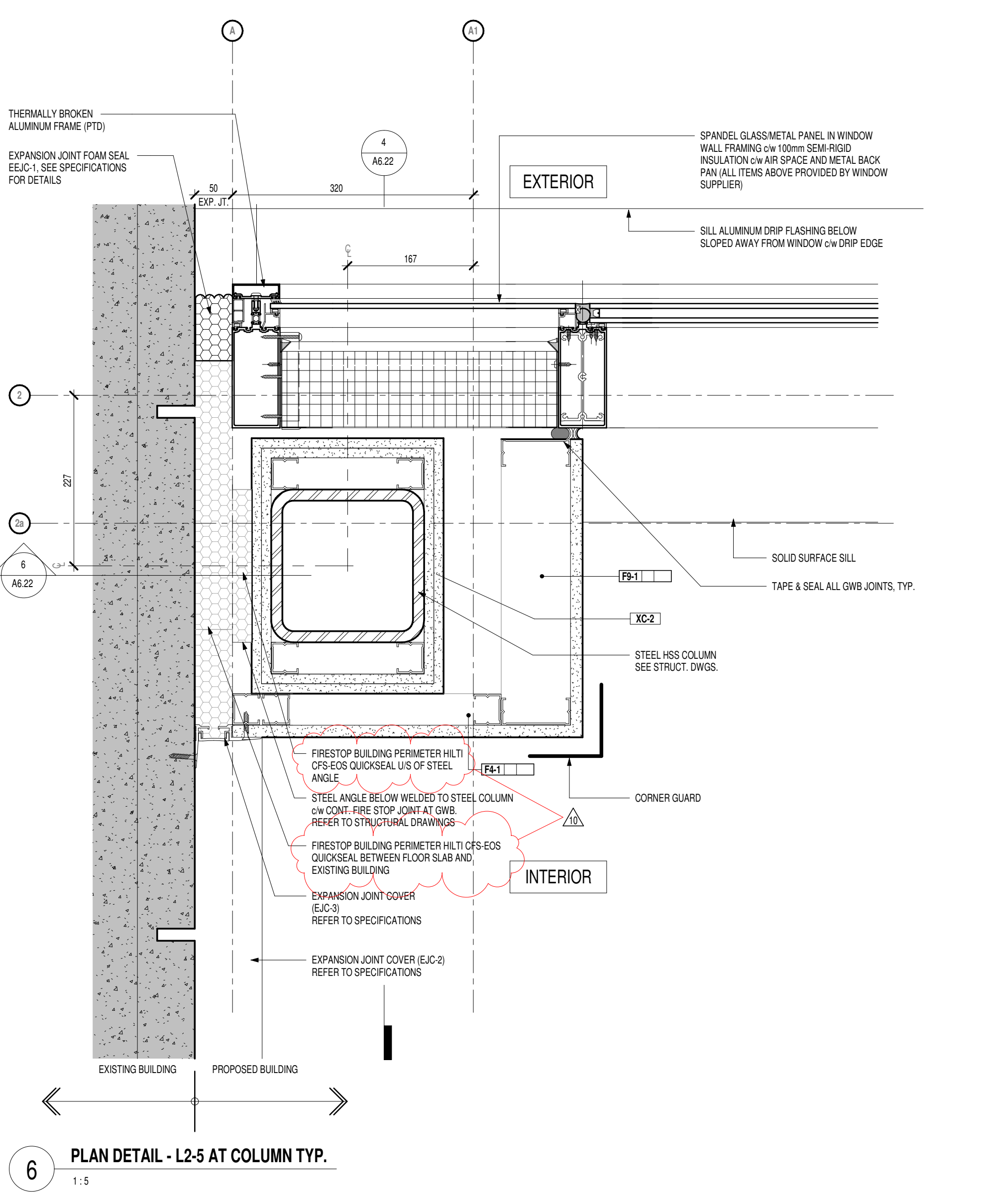
10 PLAN DETAIL - L0 OPENING INTO EXISTING STONE WALL
1:5



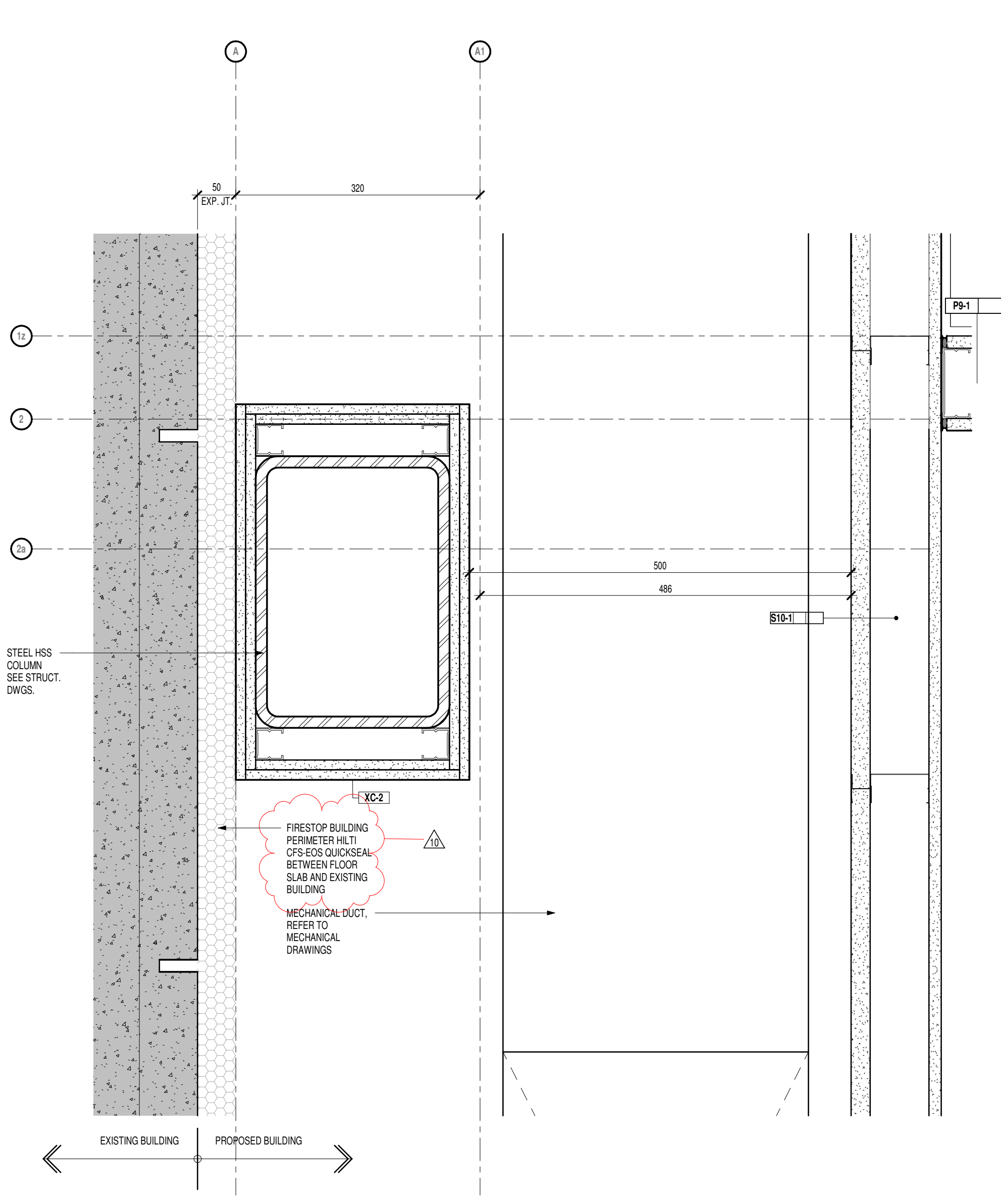
8 PLAN DETAIL - L1 TYPICAL CW OUTSIDE CORNER DETAIL
1:5



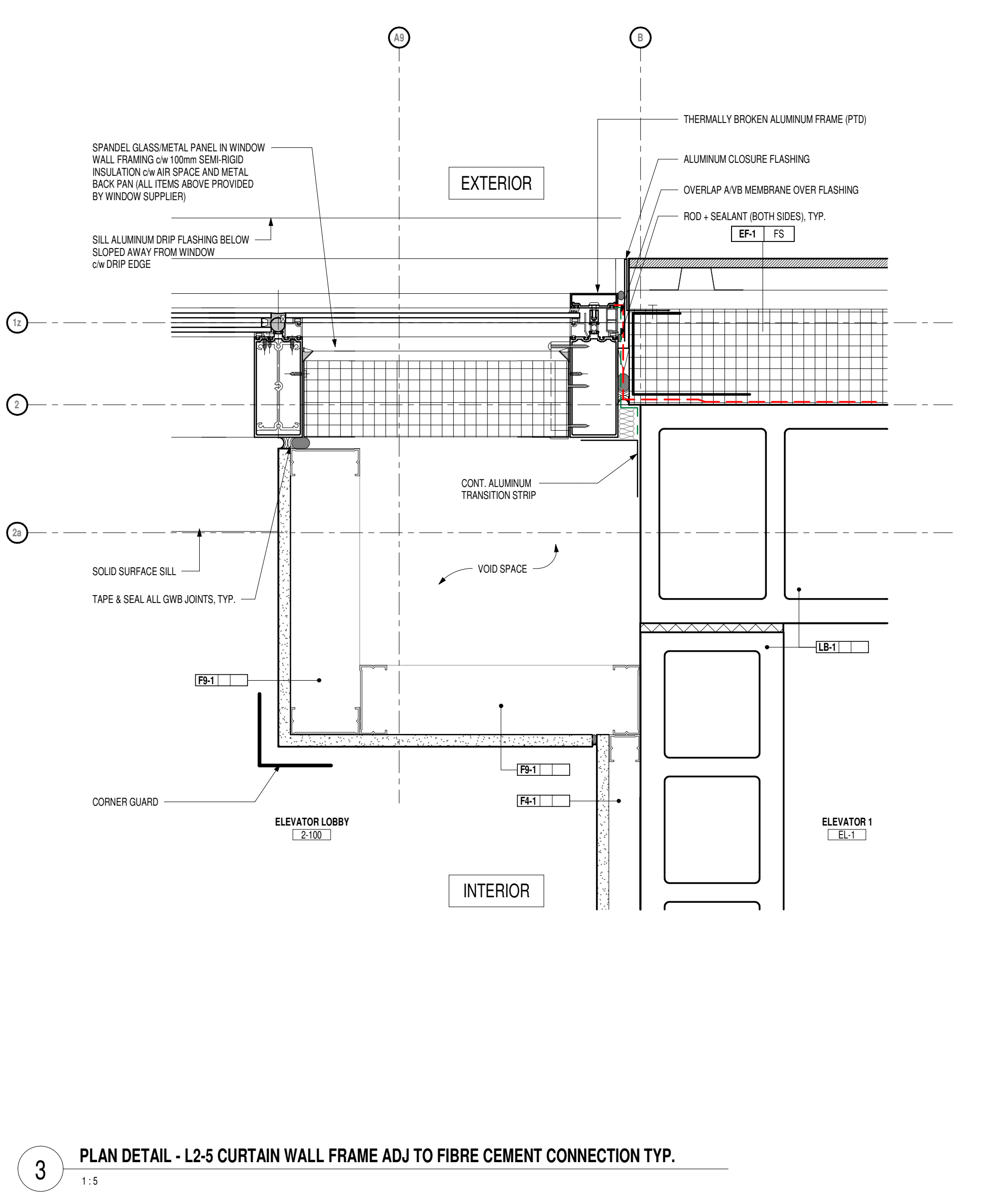
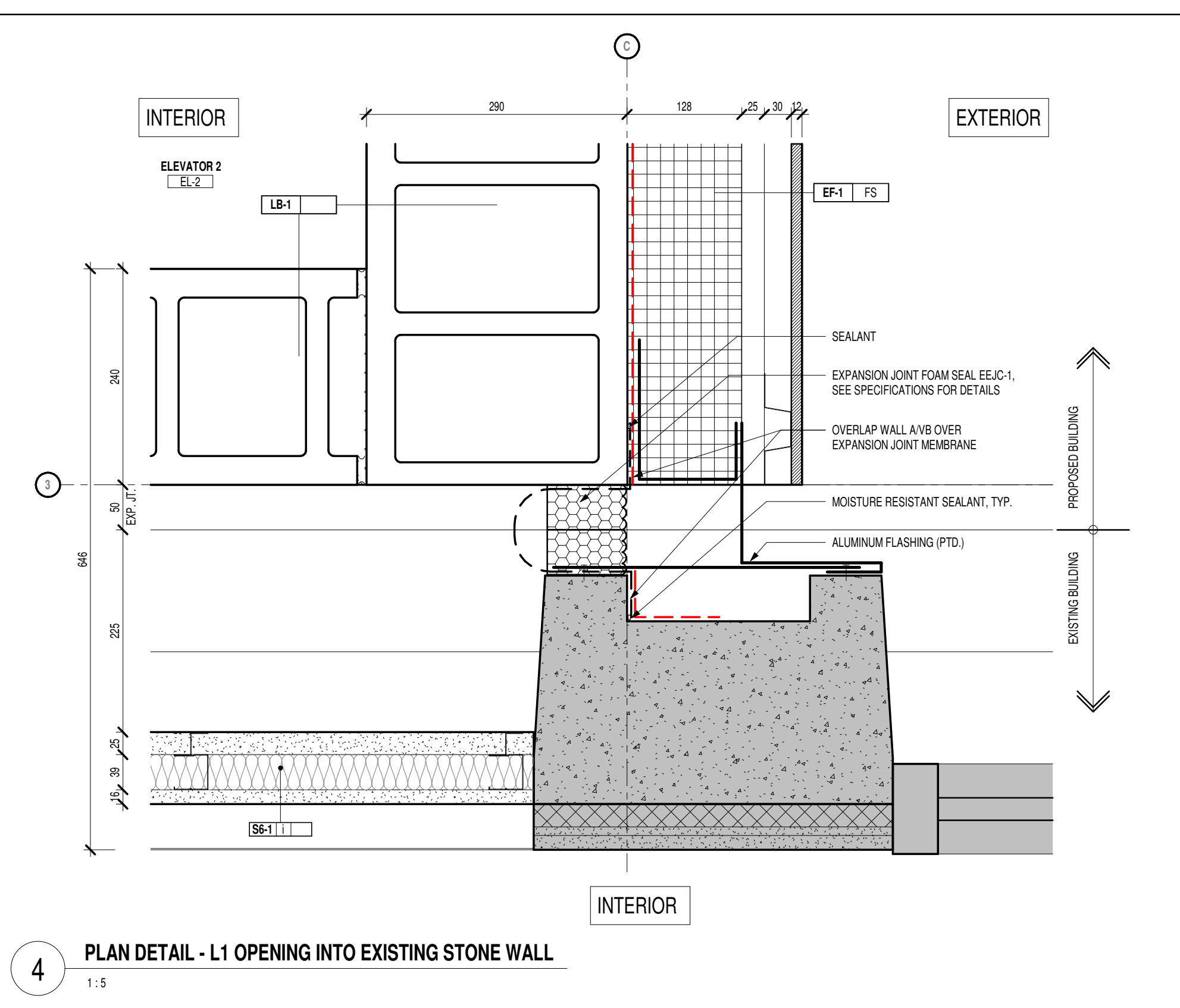
4 PLAN DETAIL - L1 OPENING INTO EXISTING STONE WALL
1:5



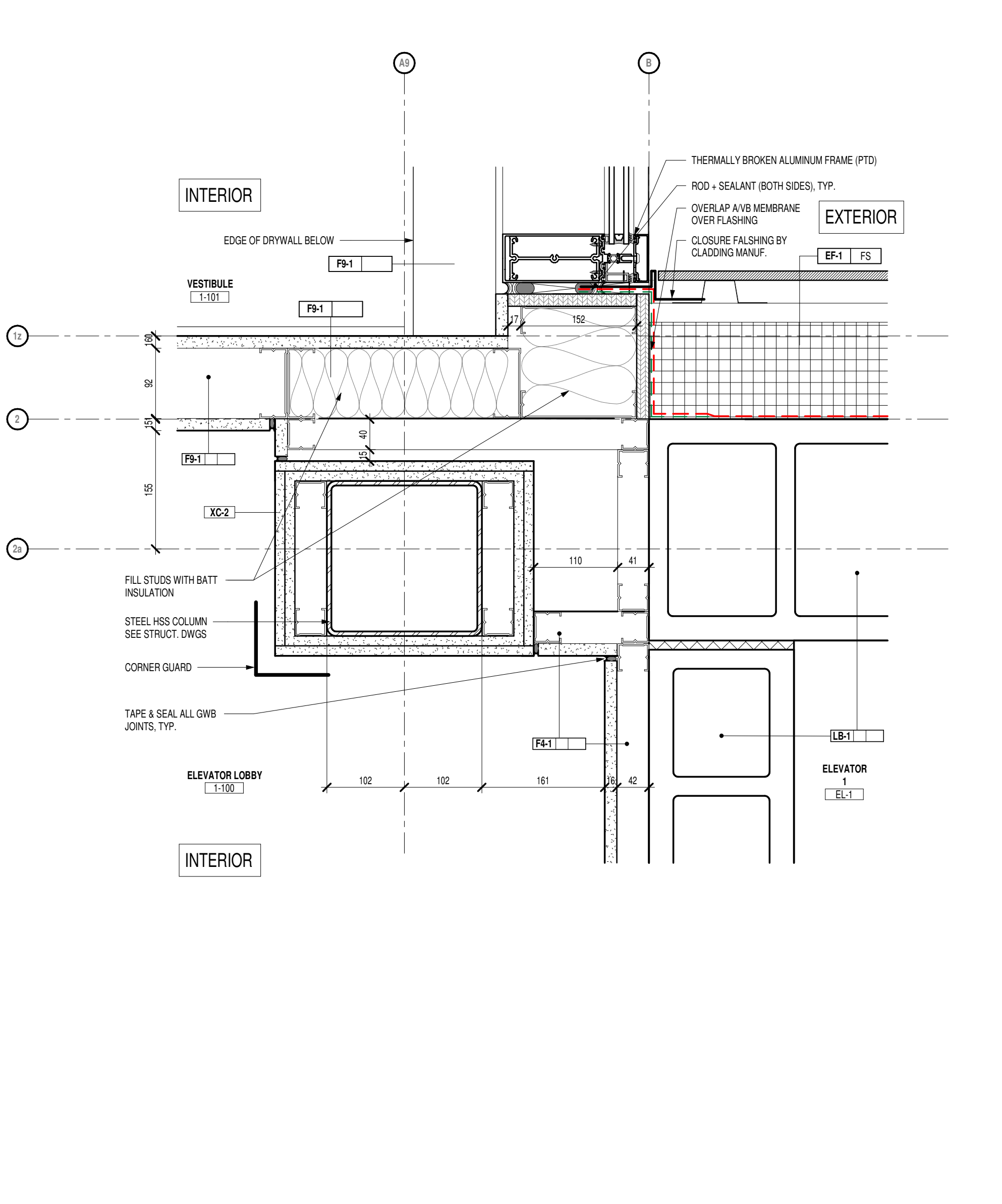
6 PLAN DETAIL - L2-5 AT COLUMN TYP.
1:5



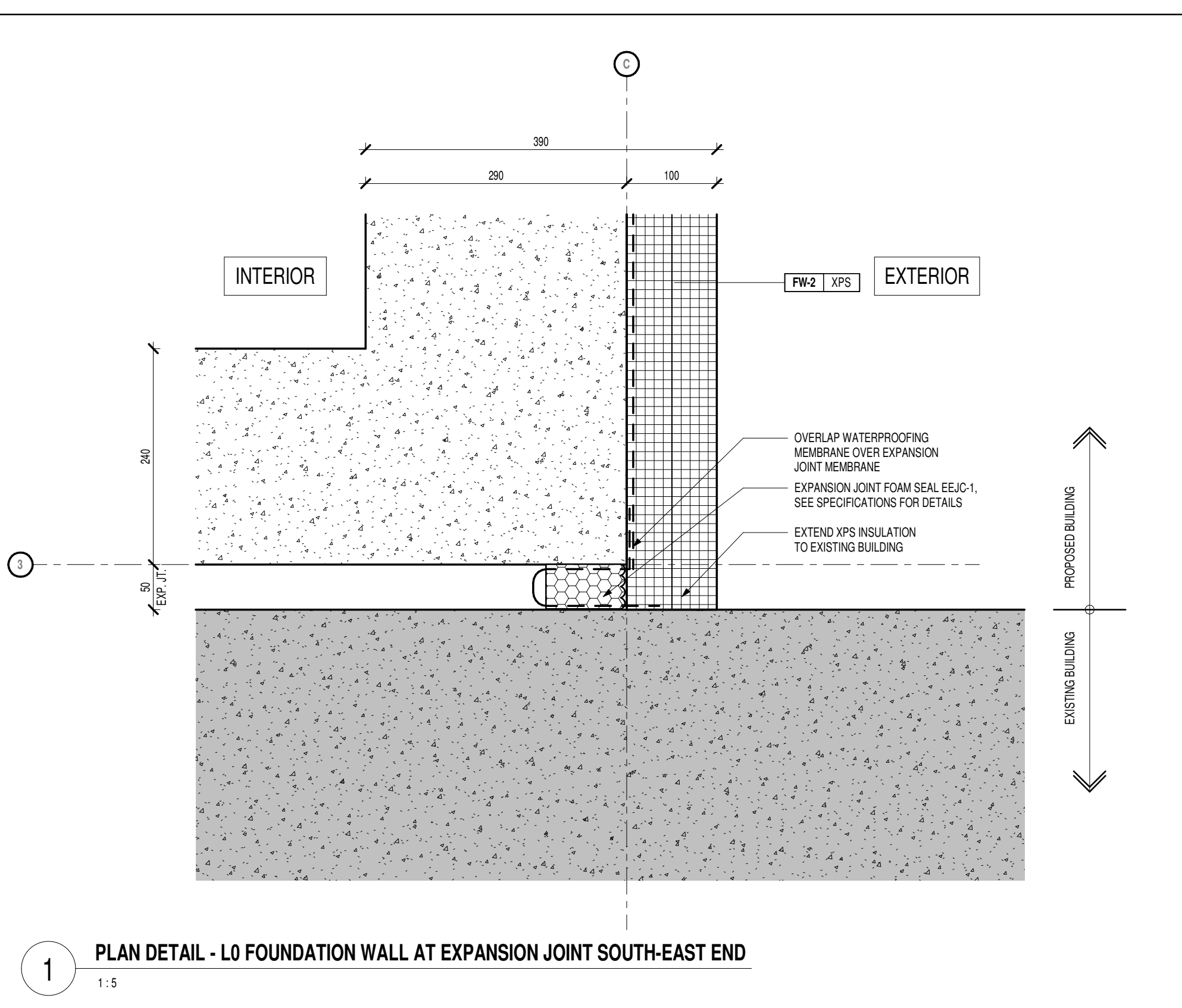
5 PLAN DETAIL - L1 AT COLUMN
1:5




3 PLAN DETAIL - L2-5 CURTAIN WALL FRAME ADJ TO FIBRE CEMENT CONNECTION TYP.
1:5



2 PLAN DETAIL - L1 CURTAIN WALL FRAME ADJ TO FIBRE CEMENT CONNECTION
1:5



1 PLAN DETAIL - L0 FOUNDATION WALL AT EXPANSION JOINT SOUTH-EAST END
1:5



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| | | | |
|----|------------|---------------------------------|----|
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| 11 | 2025-12-12 | Re-issued for Building Permit | G |
| 9 | 2025-07-09 | Issued for Building Permit | G |
| 8 | 2025-06-05 | Issued for 68% CD Client Review | G |
| # | | Date Revision | By |

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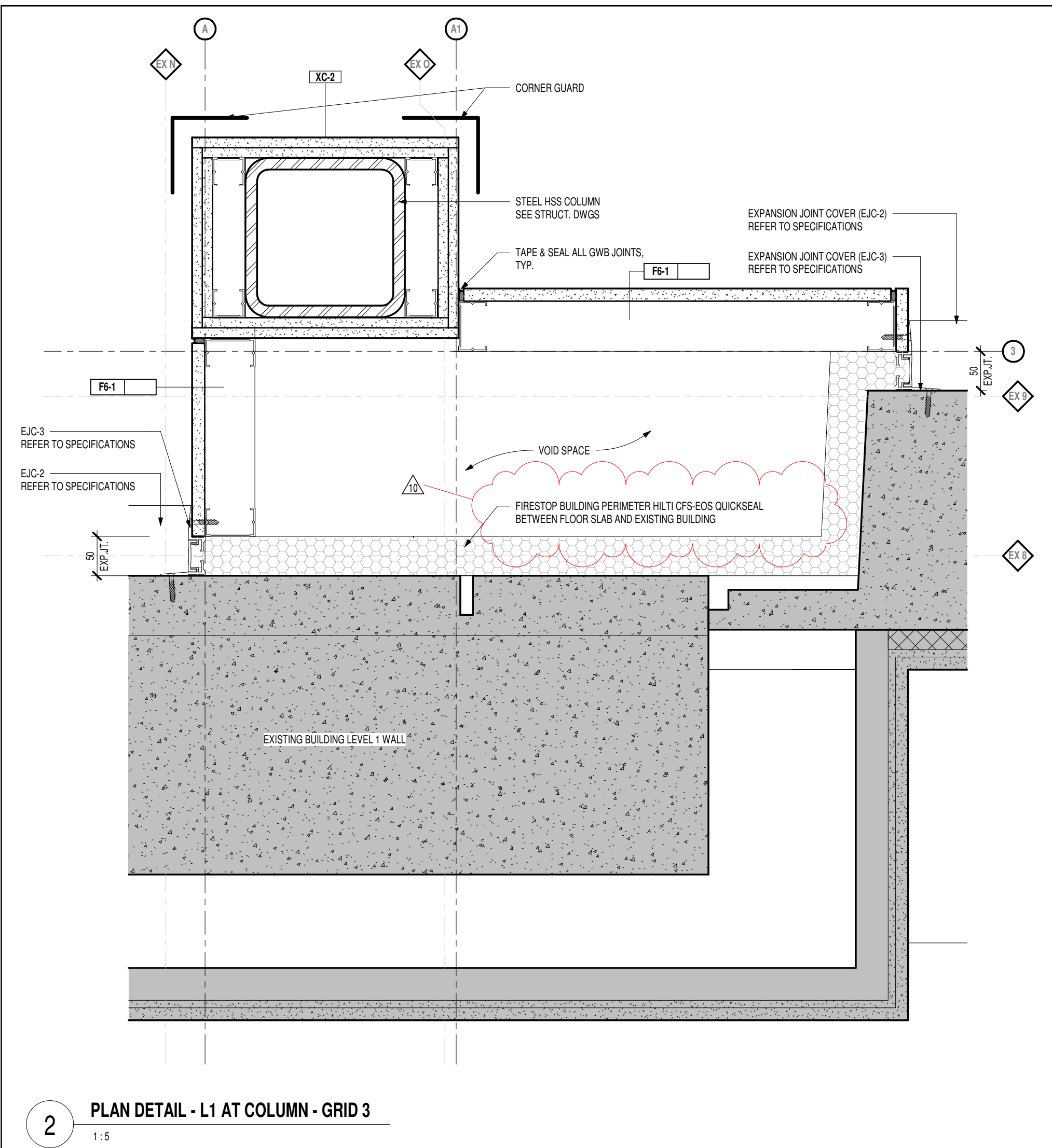
Queen's Elevators - John Watson Hall

John Watson Hall, Kingston, ON K7L 2S7
Client: Queen's University
Project No. 24084

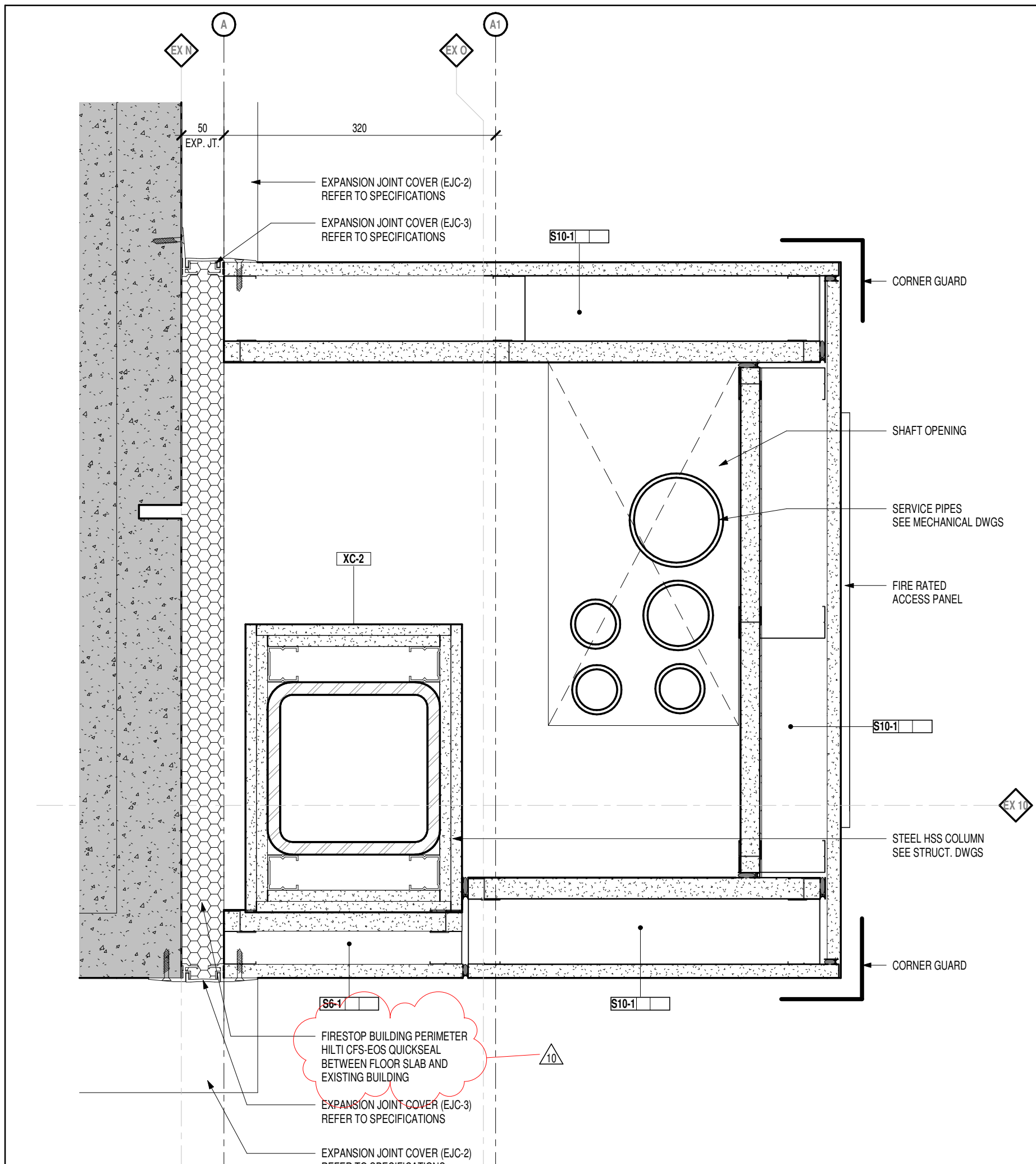
EXTERIOR PLAN DETAILS

Scale: 1:5
Drawn By: Author
Reviewed By: Checker
Revision No. 10
Plot Date: 2026-04-15

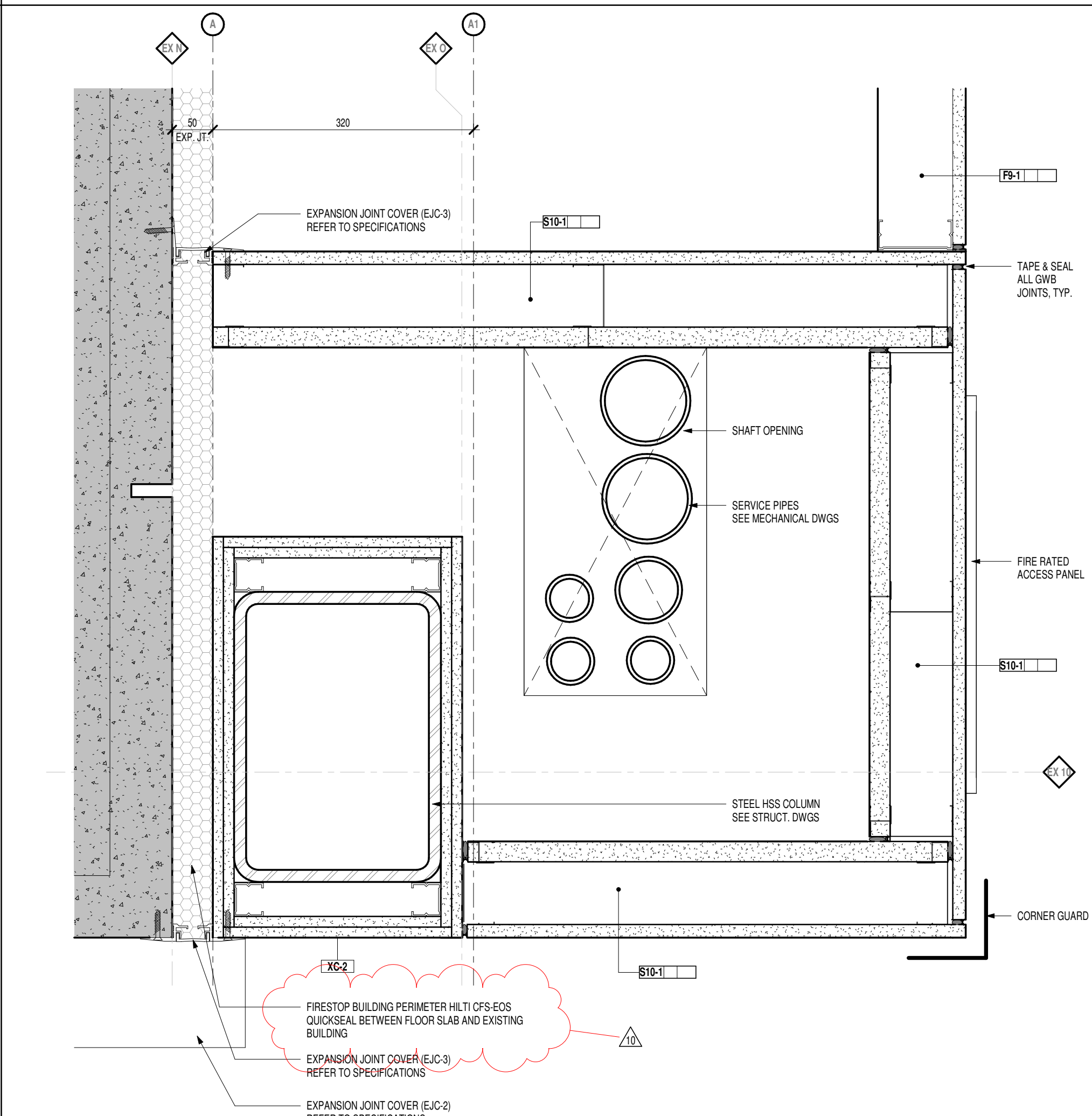
Drawing No. **A6.30**



2 PLAN DETAIL - L1 AT COLUMN - GRID 3
1:5



3 PLAN DETAIL - SHAFT WALL @ LV2 - 4
1:5



1 PLAN DETAIL - SHAFT WALL @ LV1
1:5

| | | | |
|----|------------|-------------------------------|----|
| 14 | 2026 04 15 | Issued for Addendum No.1 | G |
| 13 | 2026 02 13 | Issued for Tender | G |
| 10 | 2025 12 12 | Re-Issued for Building Permit | G |
| # | Date | Revision | By |

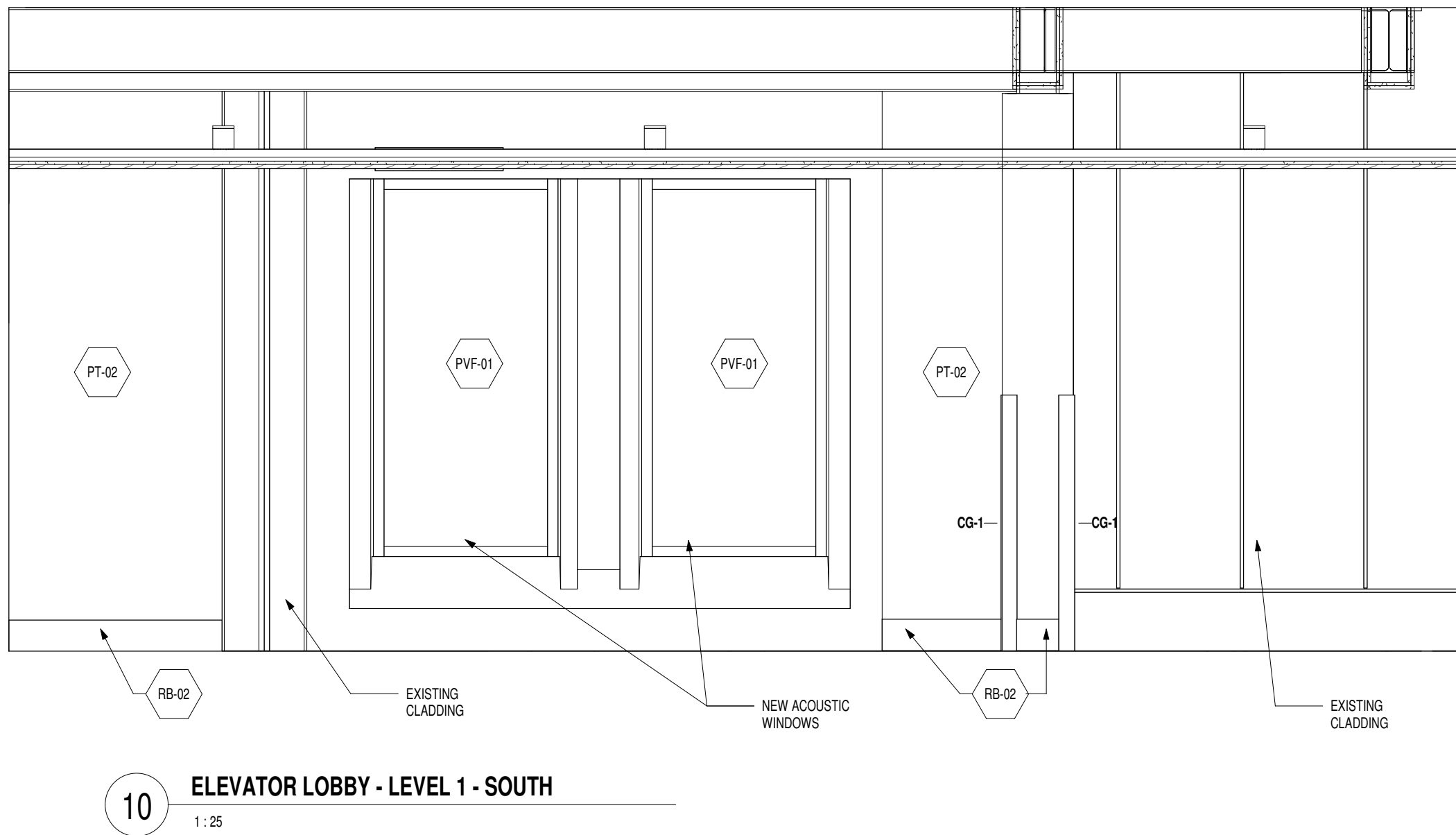
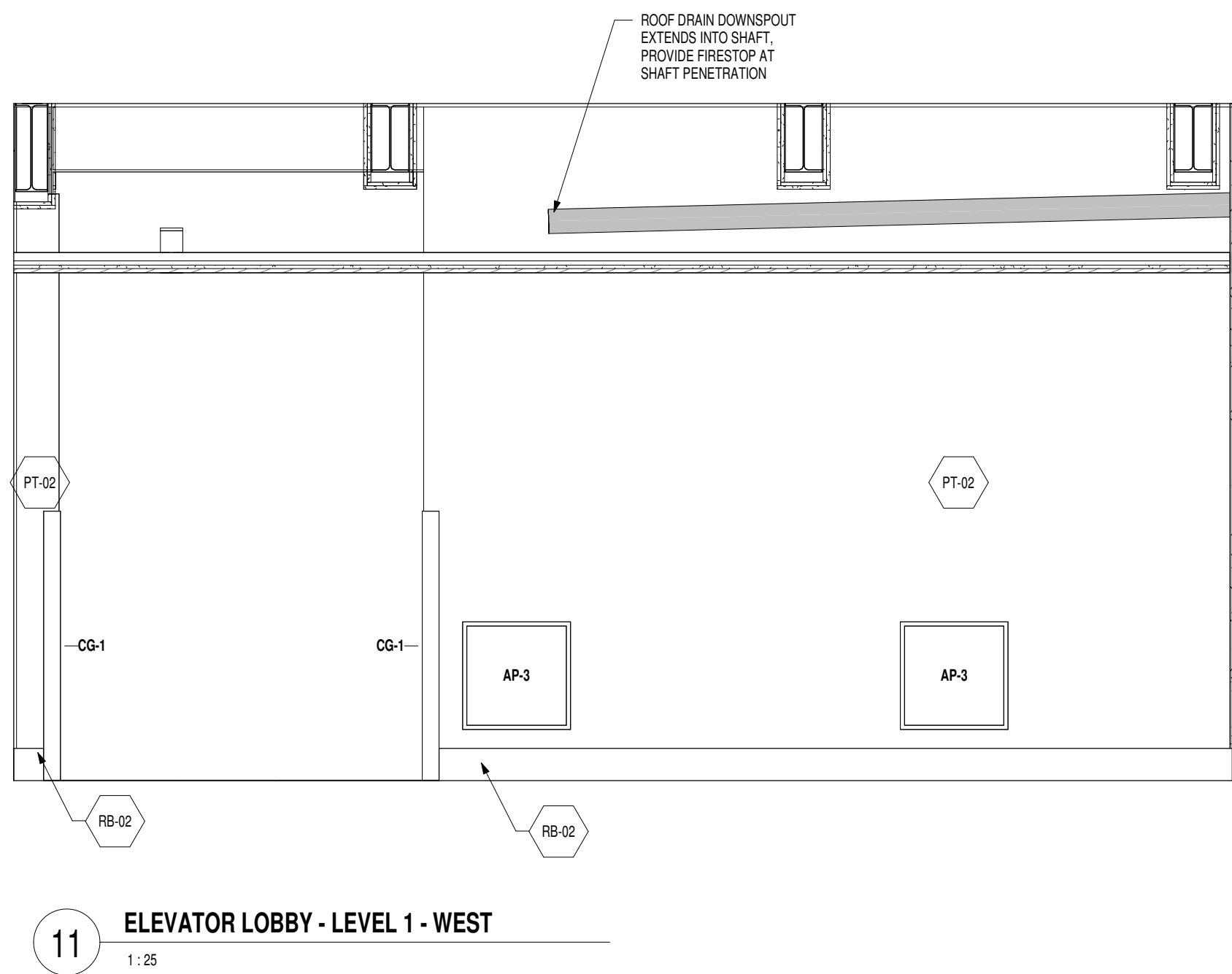
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Queen's Elevators - John Watson Hall
John Watson Hall, Kingston, ON K7L 2S7
Client: Queen's University
Project No. 24084

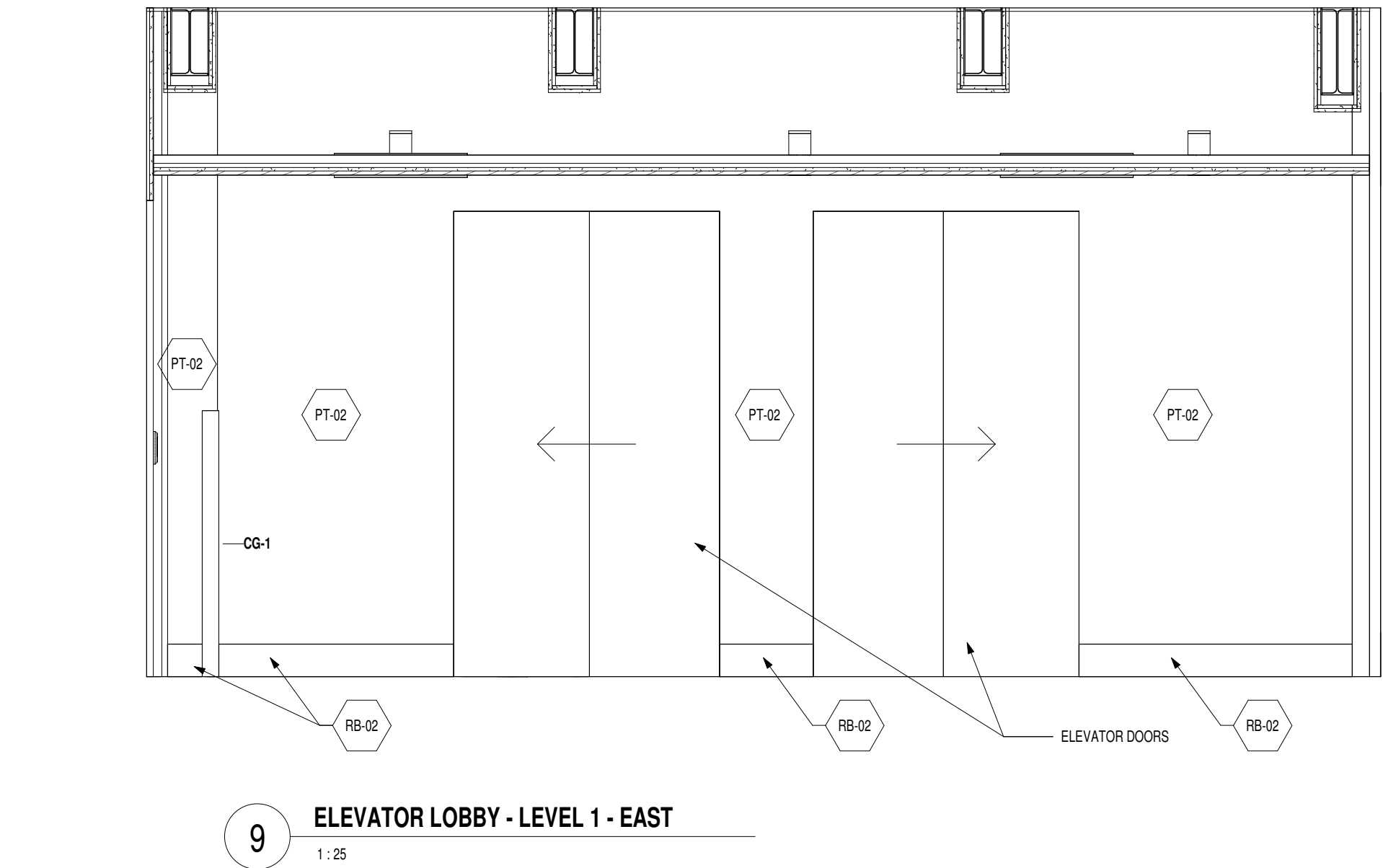
EXTERIOR PLAN DETAILS

| | |
|--------------|------------|
| Scale | 1 : 5 |
| Drawn By | Author |
| Reviewed By | Checker |
| Revision No. | 10 |
| Plot Date | 2026-04-15 |
| Drawing No. | |

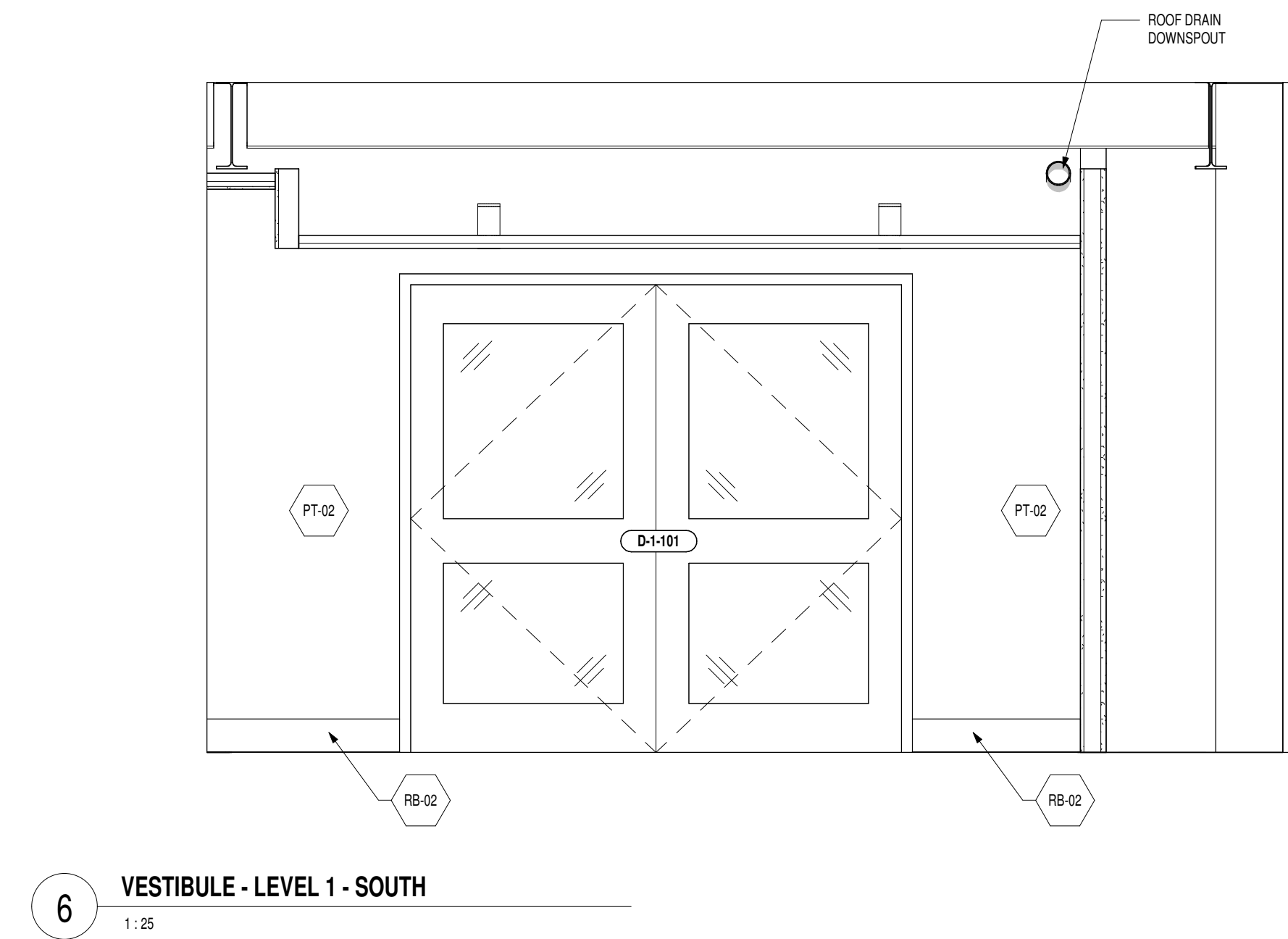
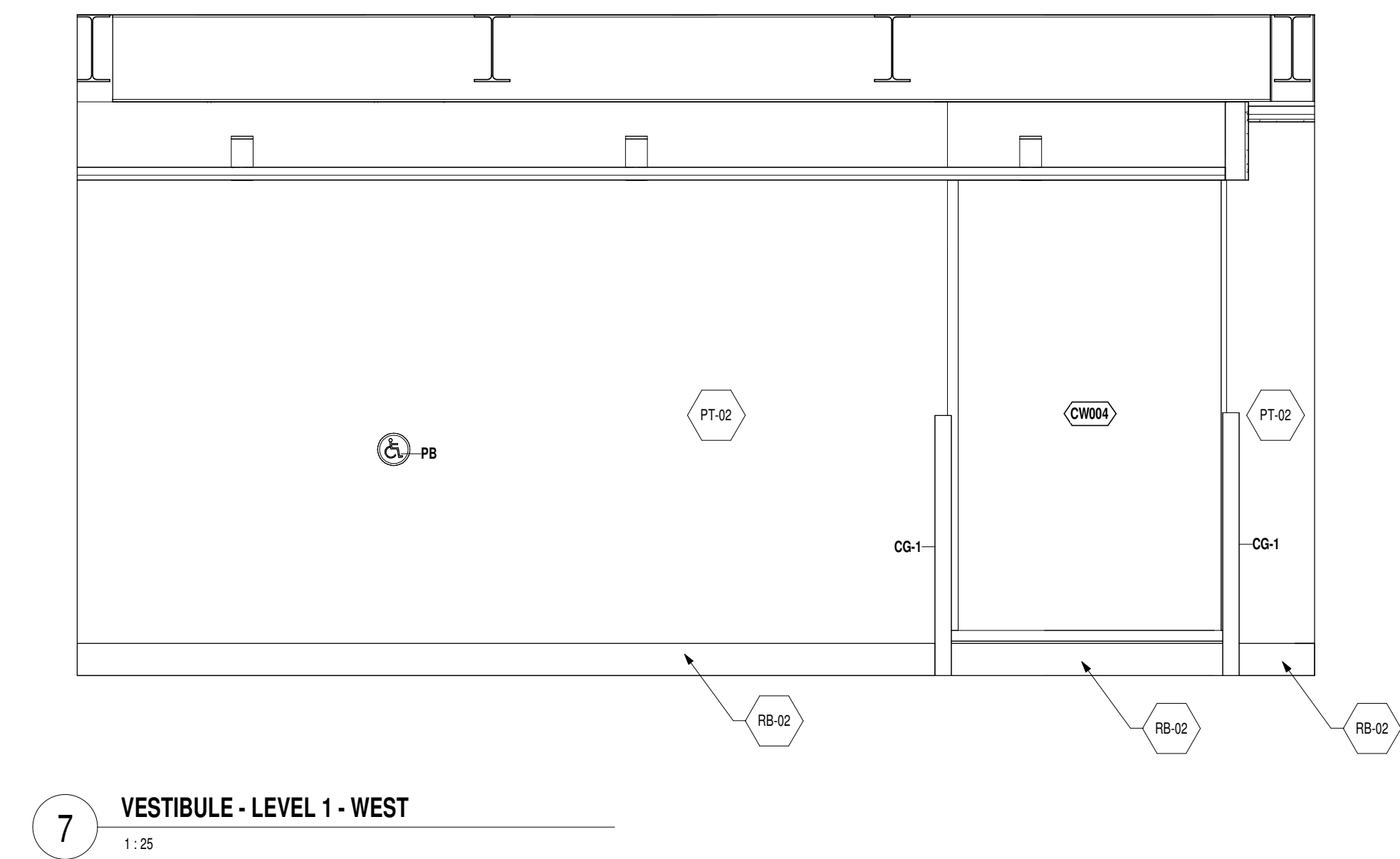
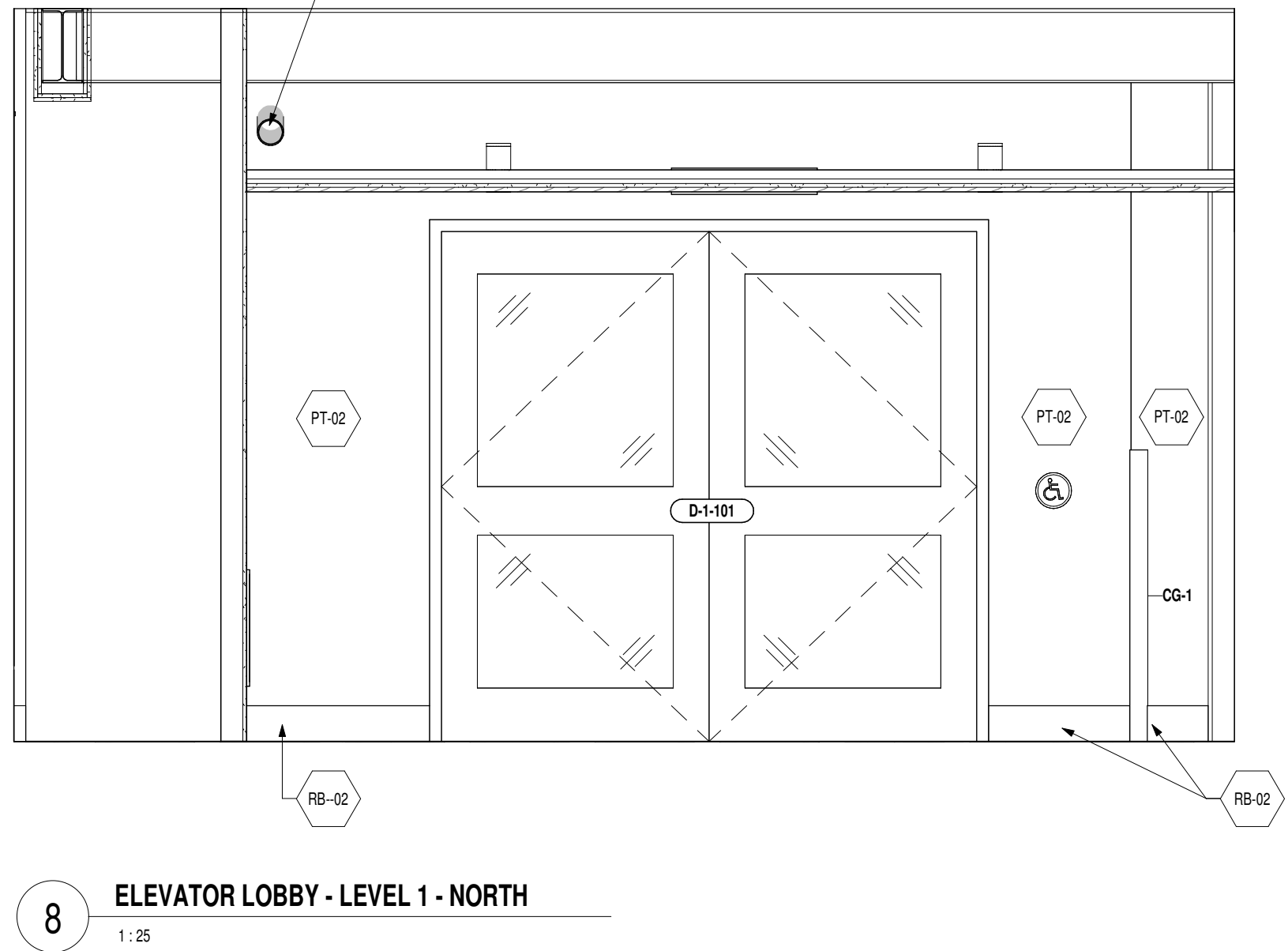
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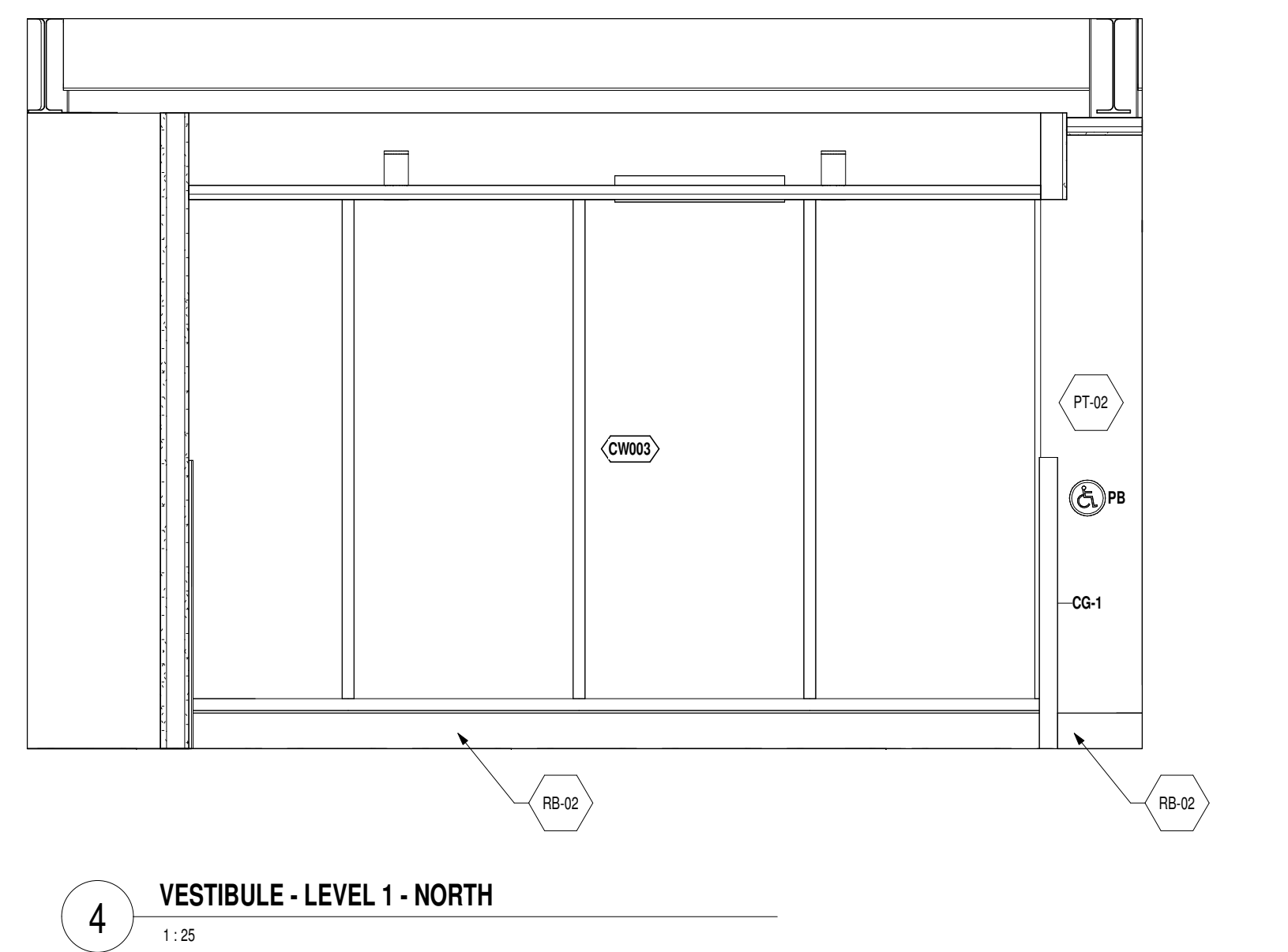
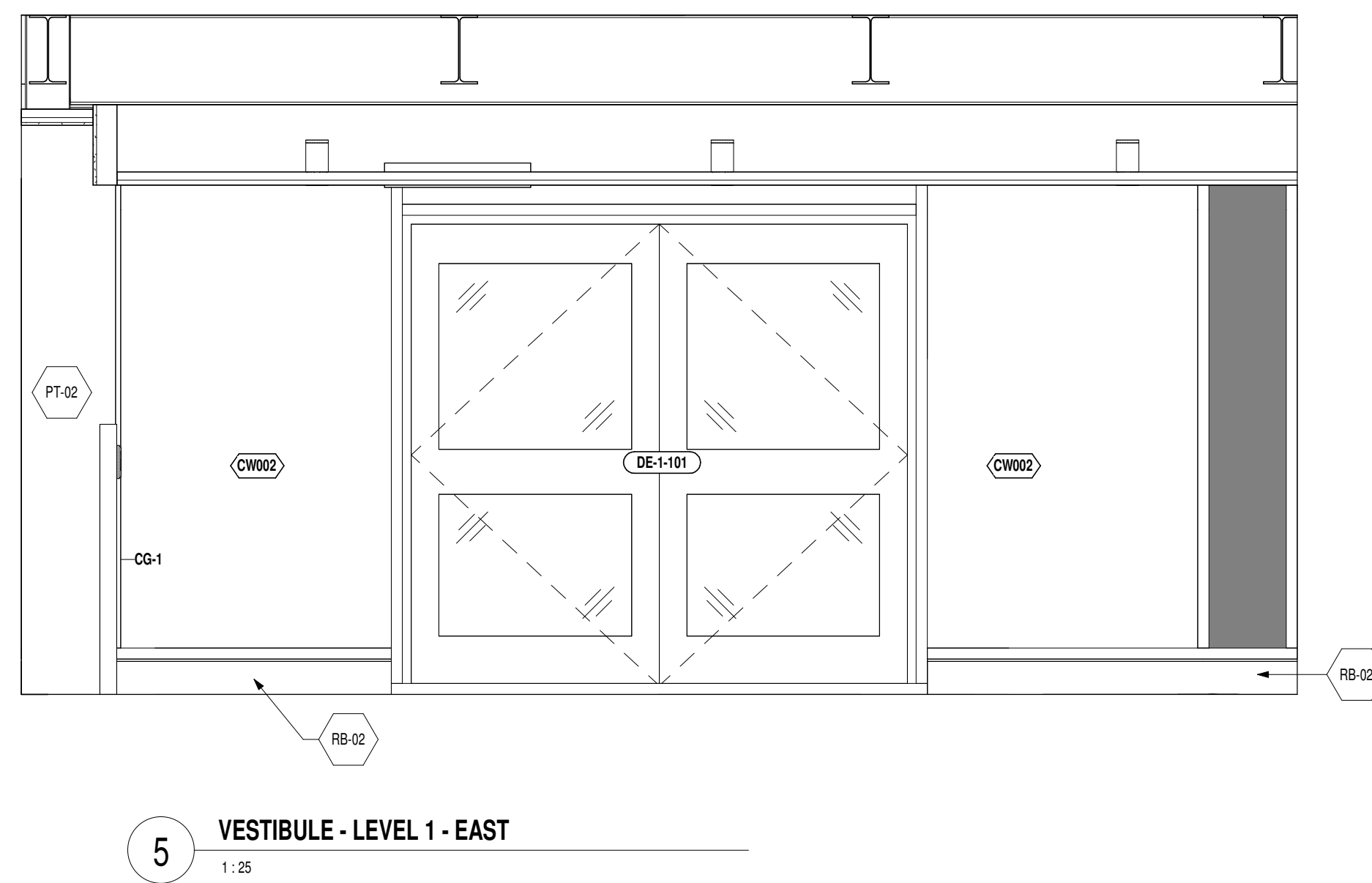
13 OFFICES - LEVEL 1-5 - NORTH TYP.
1:25



12 ELEVATOR LOBBY - LEVEL 2-5 - NORTH TYP.
1:25



9 ELEVATOR LOBBY - LEVEL 1 - EAST
1:25

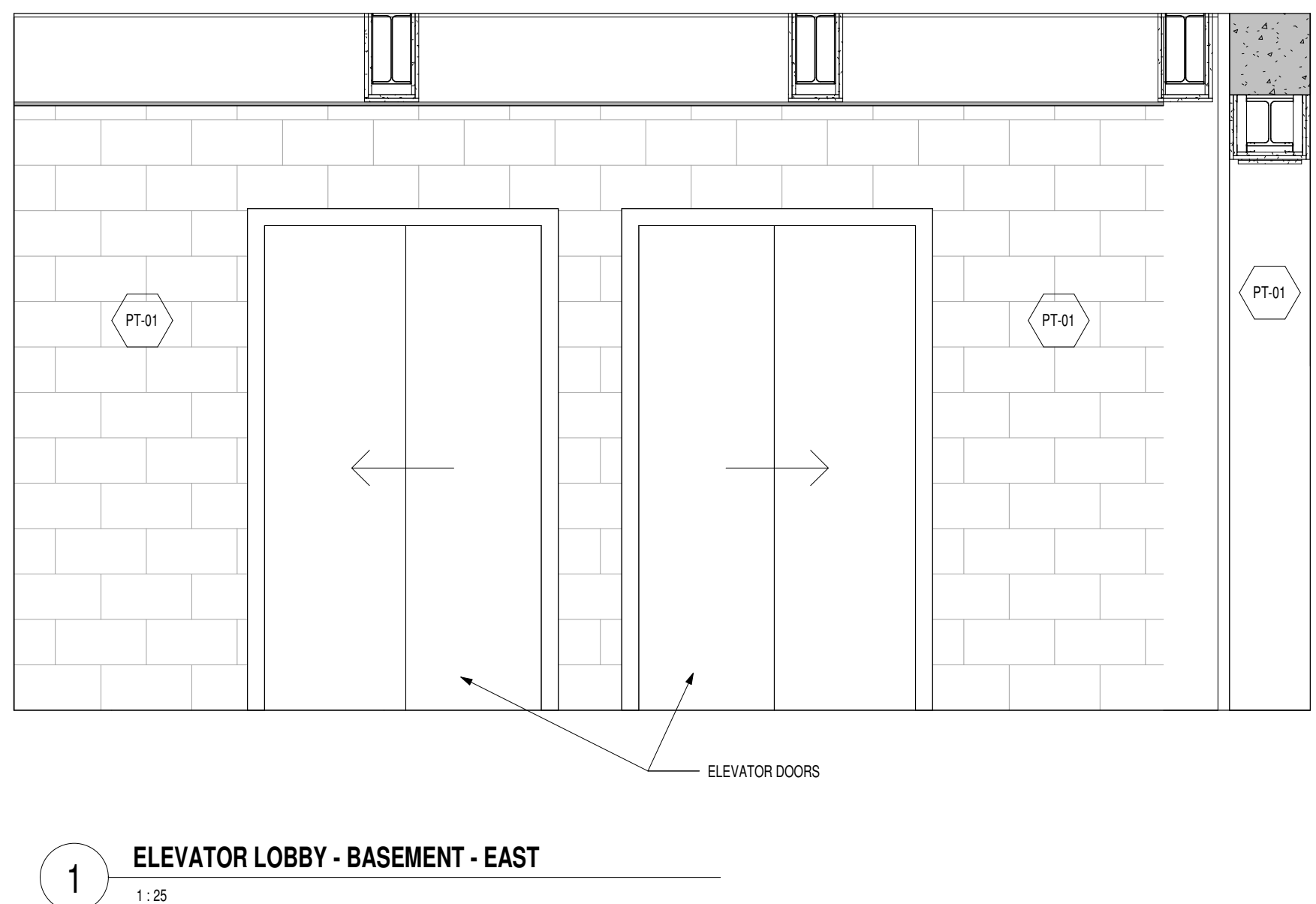
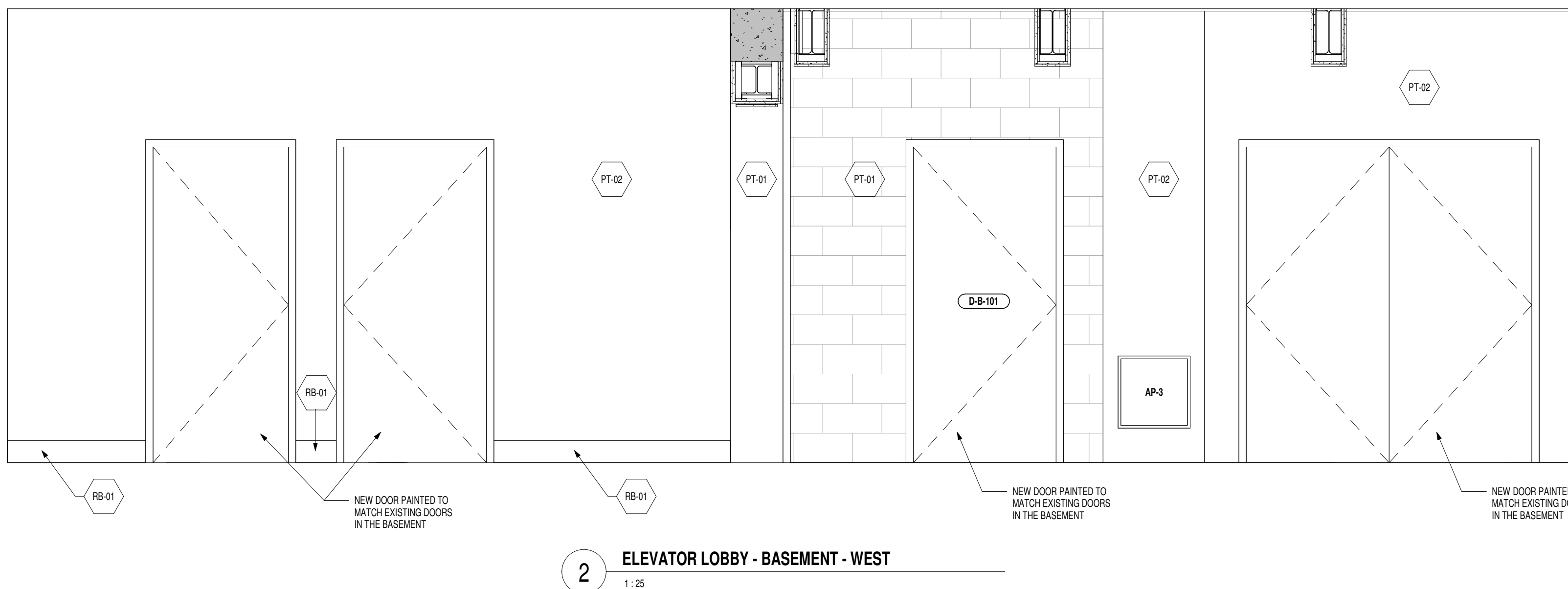
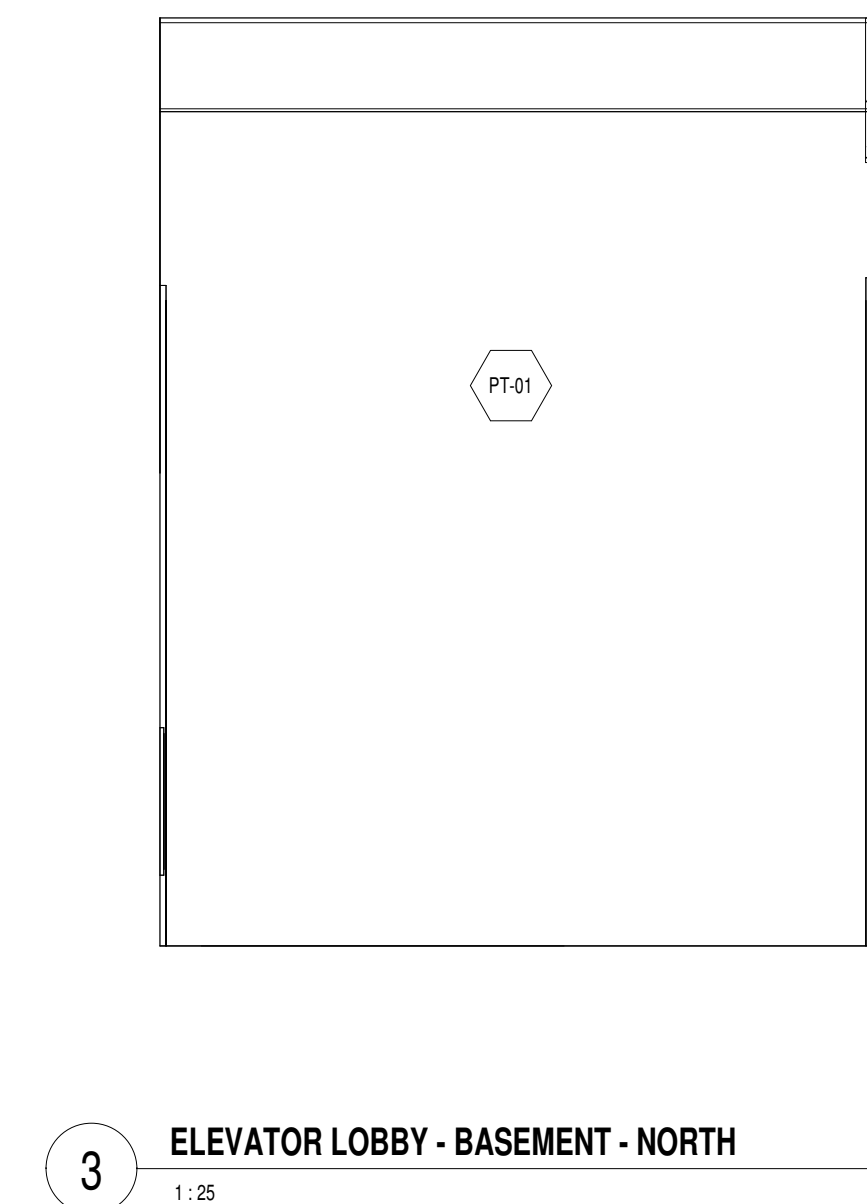


7 VESTIBULE - LEVEL 1 - WEST
1:25

6 VESTIBULE - LEVEL 1 - SOUTH
1:25

5 VESTIBULE - LEVEL 1 - EAST
1:25

4 VESTIBULE - LEVEL 1 - NORTH
1:25



3 ELEVATOR LOBBY - BASEMENT - NORTH
1:25

2 ELEVATOR LOBBY - BASEMENT - WEST
1:25

1 ELEVATOR LOBBY - BASEMENT - EAST
1:25

| ROOM FINISH SCHEDULE | | | | | | | | |
|----------------------|-----------------------|--------------|----------------|--------------------|-----------|--------|---------------|-------------|
| ROOM # | ROOM NAME | FLOOR FINISH | CEILING FINISH | MATERIAL | WALL BASE | FINISH | MATERIAL | FINISH NOTE |
| BASEMENT | | | | | | | | |
| B-100 | ELEVATOR LOBBY | SLR | N/A | EXPOSED STEEL DECK | N/A | PT-01 | CONC/ CMU | |
| B-101 | ELEVATOR CONTROL ROOM | SLR | N/A | EXPOSED STEEL DECK | N/A | PT-01 | CMU/ EXISTING | |
| B-102 | STORAGE ROOM | SLR | N/A | EXISTING | RB-01 | PT-02 | GW/ EXISTING | |
| B-103 | VESTIBULE | SLR | N/A | EXISTING | RB-01 | PT-02 | GW/ EXISTING | |
| B-104 | LINK CORRIDOR | SLR | N/A | EXISTING | RB-01 | PT-02 | GW/ EXISTING | |
| LEVEL 1 | | | | | | | | |
| 1-100 | ELEVATOR LOBBY | TL-01 | PT-03 / ACT-01 | GW/ ACT | RB-02 | PT-02 | GW/ EXISTING | WITH CARPET |
| 1-101 | VESTIBULE | FLOOR MAT | PT-04 | WOOD | RB-02 | PT-02 | GW/ EXISTING | |
| LEVEL 2 | | | | | | | | |
| 2-100 | ELEVATOR LOBBY | TL-01 | ACT-01 | ACT | RB-02 | PT-02 | GW/ EXISTING | |
| LEVEL 3 | | | | | | | | |
| 3-100 | ELEVATOR LOBBY | TL-01 | ACT-01 | ACT | RB-02 | PT-02 | GW/ EXISTING | |
| LEVEL 4 | | | | | | | | |
| 4-100 | ELEVATOR LOBBY | TL-01 | ACT-01 | ACT | RB-02 | PT-02 | GW/ EXISTING | |
| LEVEL 5 | | | | | | | | |
| 5-100 | ELEVATOR LOBBY | TL-01 | ACT-01 | ACT | RB-02 | PT-02 | GW/ EXISTING | |

LEGEND:
ACT: 1/2" BAYVIEW/ULTIMA BY ARMSTRONG CEILINGS
PT-01: PAINT COLOR TO MATCH EXISTING BLOCK WALL
PT-02: PAINT COLOR TO MATCH EXISTING PARTITION
TL-01: TARKETT VCT 1, COLOR TO BE SELECTED DURING SHOP DRAWING REVIEW
RB-01: PAINTED TO MATCH EXISTING IN THE BASEMENT
RB-02: WOOD STAIN TO MATCH EXISTING ON THE UPPER FLOORS
FLOOR MAT: OWNER SUPPLY
CARPET: OWNER SUPPLY
PHYSICAL ACCESS: BARRIERS BY 3M CANADA
FIRE RATED ACCESS PANEL: COLOR TO MATCH WALL PAINT
SUB: CONCRETE SEALS: REFER TO SPECIFICATIONS

GENERAL NOTES:
1. SUBMIT MANUFACTURER'S LITERATURE AND DATA SHEETS FOR EACH TYPE OF MATERIAL. ENSURE DATA SHEETS PROVIDE REQUIRED INFORMATION INCLUDING DETAILED INSTRUCTIONS FOR INSTALLATION AS WELL AS MAINTAINING, PRESERVING AND KEEPING MATERIALS IN CLEAN AND SAFE CONDITIONS. PROVIDE ADEQUATE WARNING OF MAINTENANCE PRACTICES OR CLEANING AGENTS DETERMINAL TO SPECIFIED MATERIALS.
2. SUBMIT SAMPLES FOR REVIEW.
3. SUBMIT DRAFT WARRANTY AS PART OF SHOP DRAWING SUBMITTALS.

| | | | |
|----|------------|---------------------------------|----|
| 14 | 2026 04 15 | Issued for Addendum No.1 | G |
| 13 | 2026 02 13 | Issued for Tender | G |
| 10 | 2025 12 12 | Rev Issued for Building Permit | G |
| 9 | 2025 07 09 | Issued for Building Permit | G |
| 8 | 2025 06 05 | Issued for 68% CD Client Review | G |
| # | Date | Revision | By |

Queen's Elevators - John Watson Hall
John Watson Hall, Kingston, ON K7L 2S7
Client: Queen's University
Project No. 24084

INTERIOR ELEVATIONS

| | |
|--------------|------------|
| Scale | 1:25 |
| Drawn By | Author |
| Reviewed By | Checker |
| Revision No. | 10 |
| Plot Date | 2026-04-15 |

Drawing No.

A7.40



Structural Tender Addendum No. 01

| | | | |
|---------------------|------------------------------------|-------------------|-------------------------------------|
| Project: | Queen Elevators – John Watson Hall | | |
| Project No.: | TOR.139993.0001 | Date: | April 16, 2026 Pages: 1 of 1 |
| Client: | G Architects | Issued by: | Karen Rojas Avila |

This addendum forms part of the contract documents and amends the original drawings, specifications, schedules, and details Issued for Tender, dated 2023-06-16.

1.0 Drawings Issued

1.1 S005

2.0 Specifications Issued

1.2 None.

3.0 Sketches Issued

1.3 None.

4.0 Description of Additional Revision

- 4.1 S005
- a. Add sump pit typical detail.

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
2. These drawings are "design drawings" only.

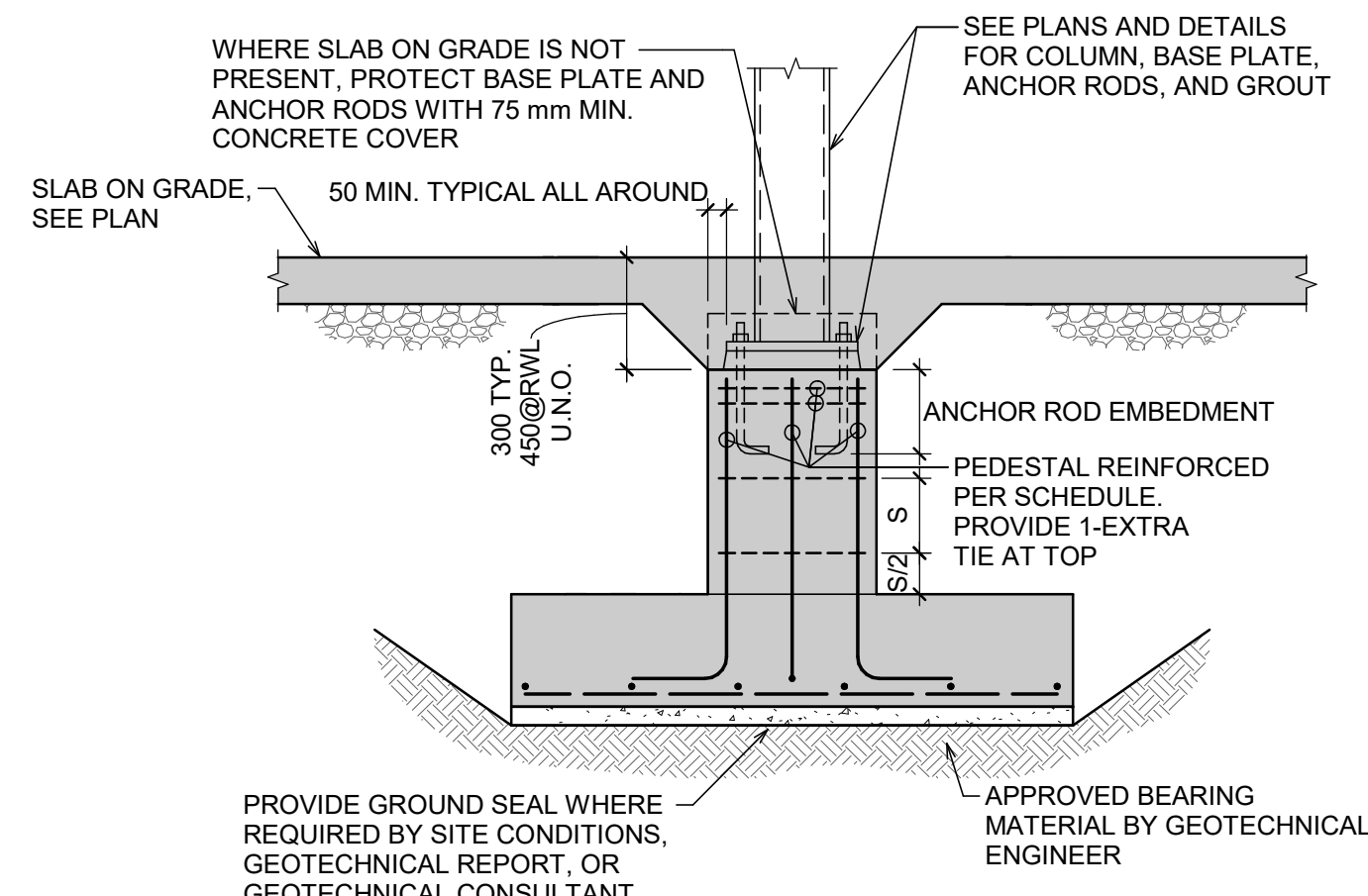
They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC.

The work "as constructed" may vary from what is shown on these drawings.

Use of these drawings is limited to that identified in the Issued/Revision column.

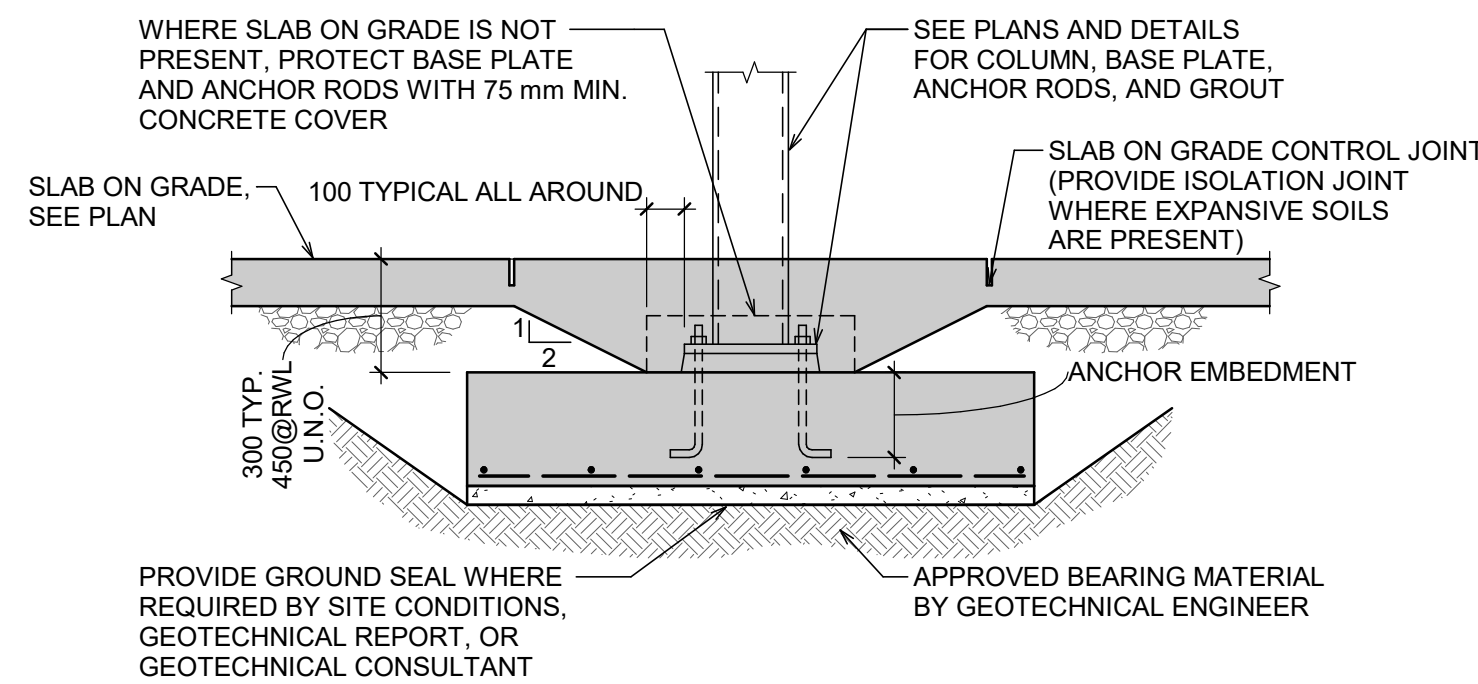
Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Issued/Revision column, and then only for the parts noted.

The drawings shall not be used for "pricing" / "costing" or "tender" unless so indicated in the Issued/Revisions column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

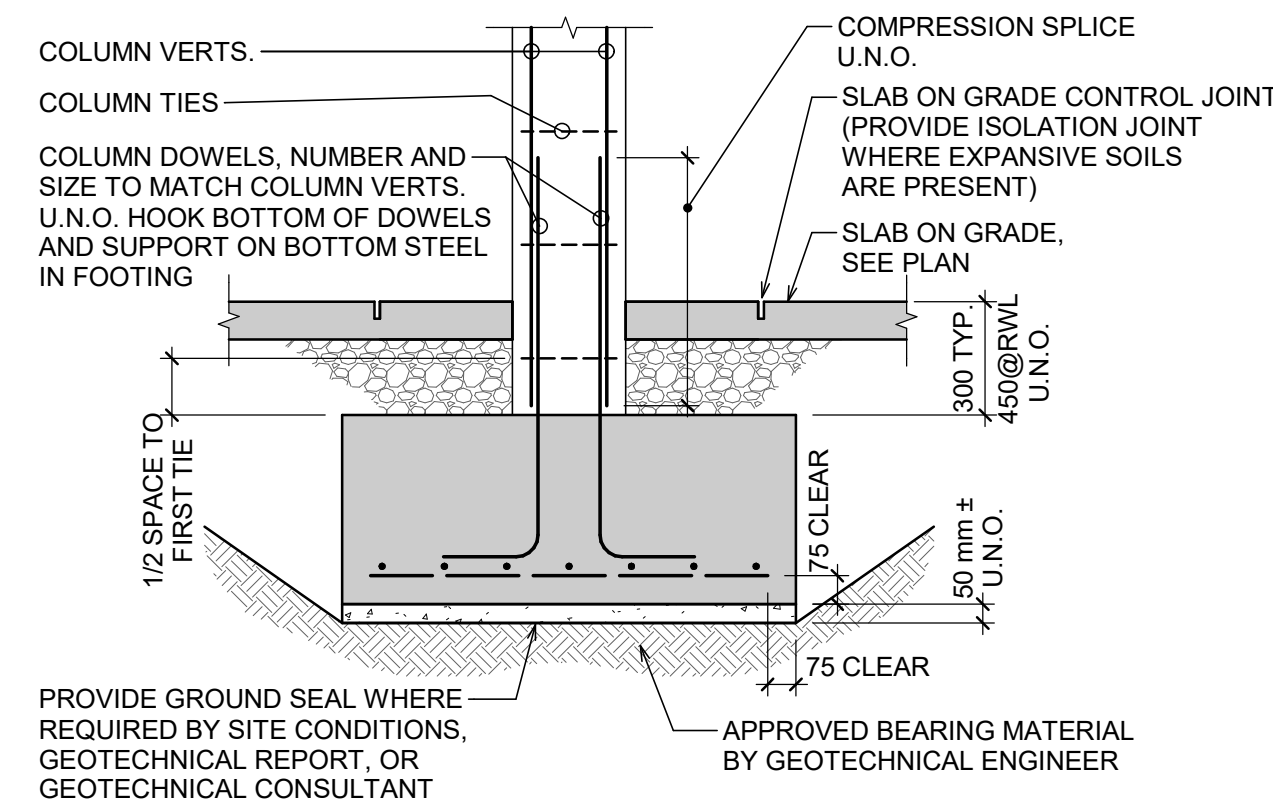


- NOTES:**
1. STRAIGHT VERTS WITH HOOKED DOWELS MAY BE USED WITH TENSION SPLICE. DO NOT WET SET DOWELS OR VERTS.
 2. PROVIDE 4-19mm ANCHOR RODS w/ 300 mm EMBEDMENT MIN. (U.N.O.)
 3. LEVELING PLATES ARE NOT PERMITTED (U.N.O.)

CF004 S005 STEEL COLUMN ON FOOTING WITH PEDESTAL
1:20

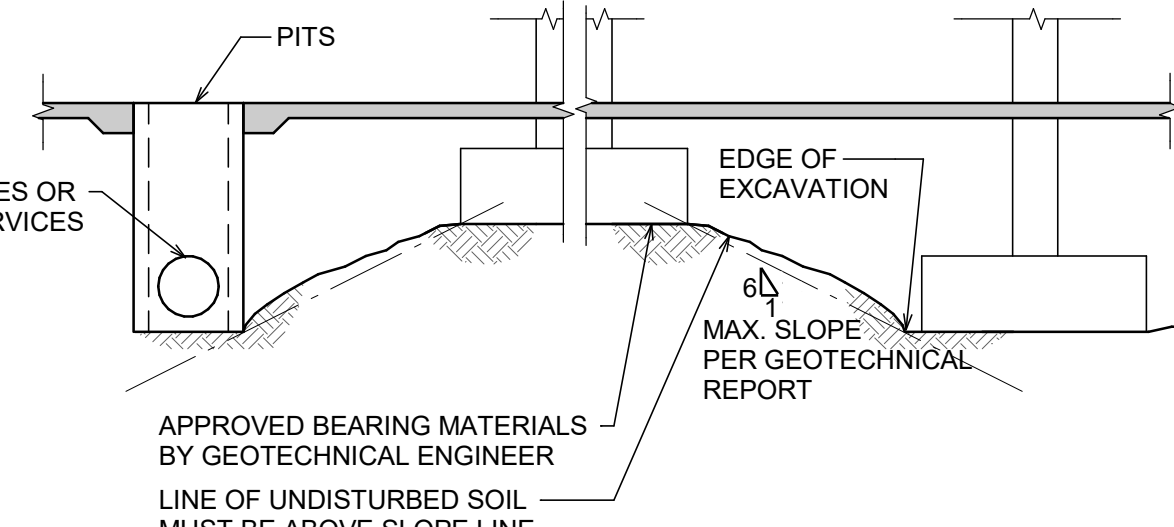


CF003 S005 STEEL COLUMN BEARING DIRECTLY ON FOOTING
1:20

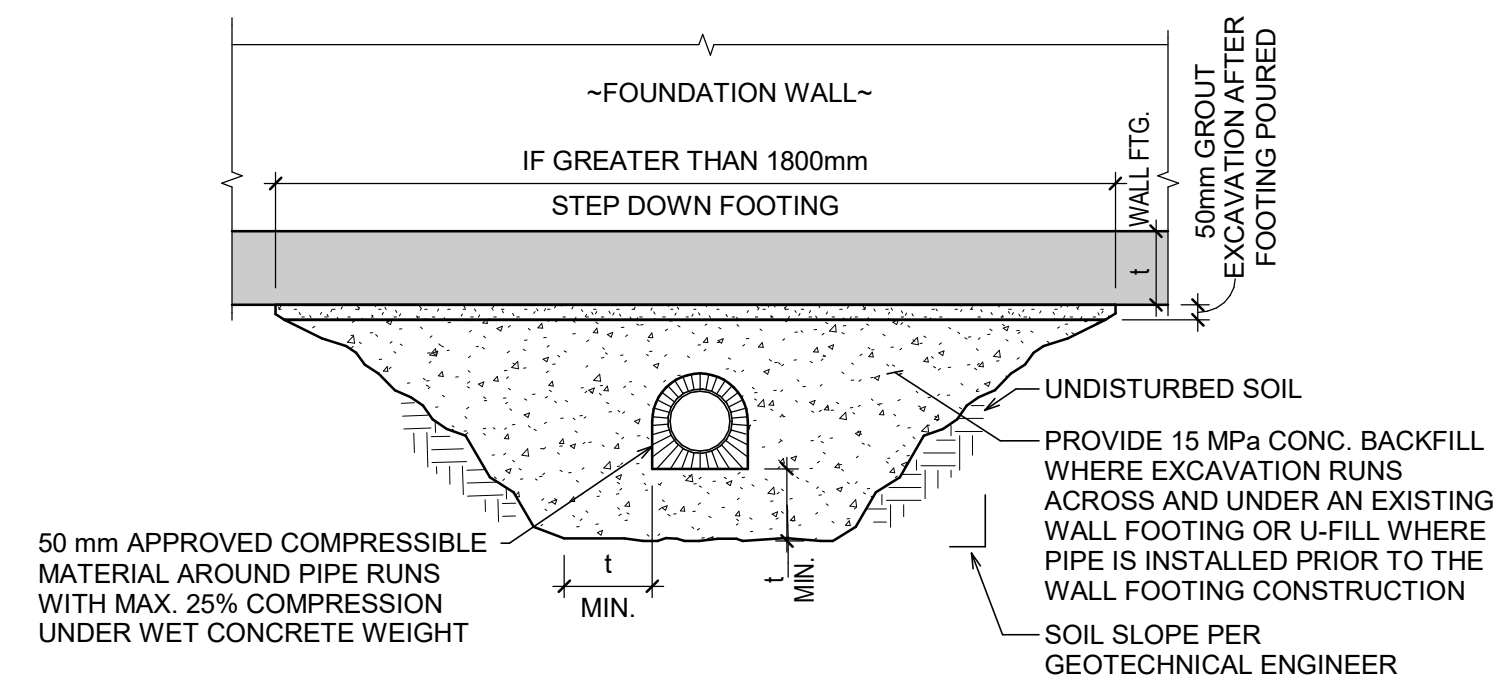


EXCEPT AS NOTED:
- FOR SPLICE LENGTHS, SEE TABLES ON STRUCTURAL DRAWINGS.
- FOOTING SHALL BE CENTERED UNDER COLUMN U.N.O.

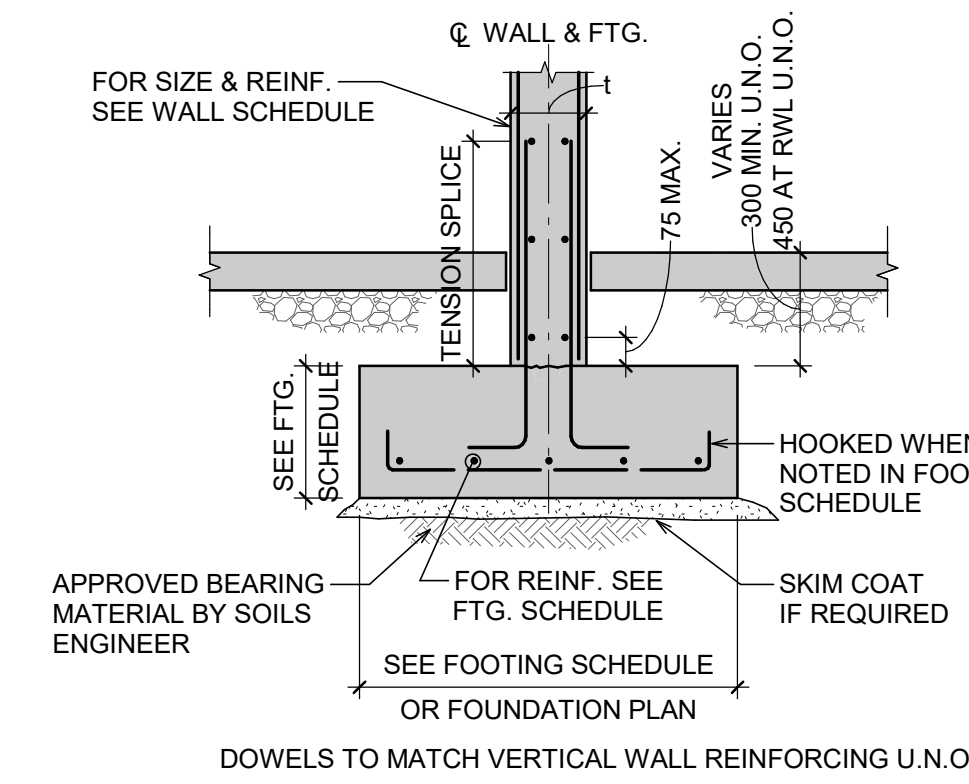
CF002 S005 CONCRETE COLUMN ON FOOTING
1:20



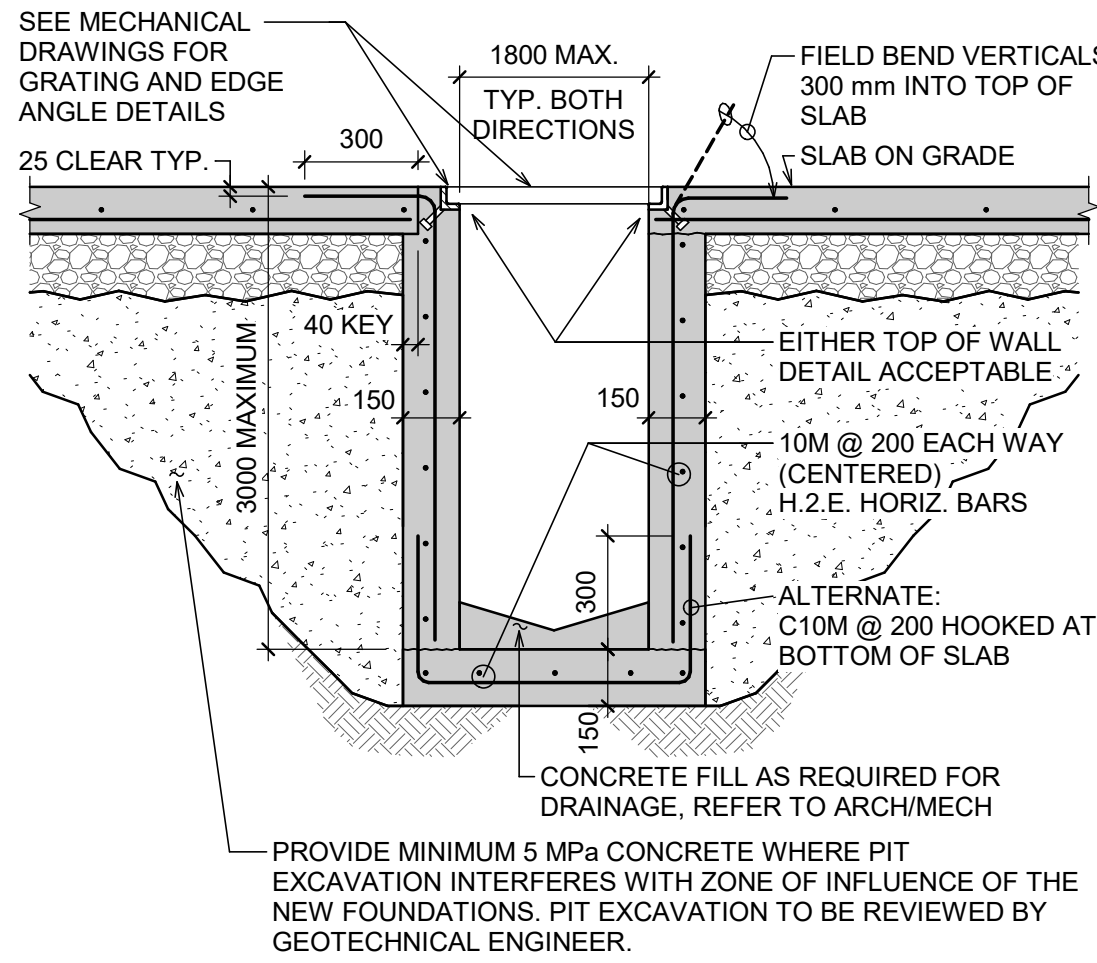
CF001 S005 FOOTINGS ADJACENT TO EXCAVATION
1:50



CF013 S005 PIPE UNDER WALL FOOTING DETAIL
N.T.S.

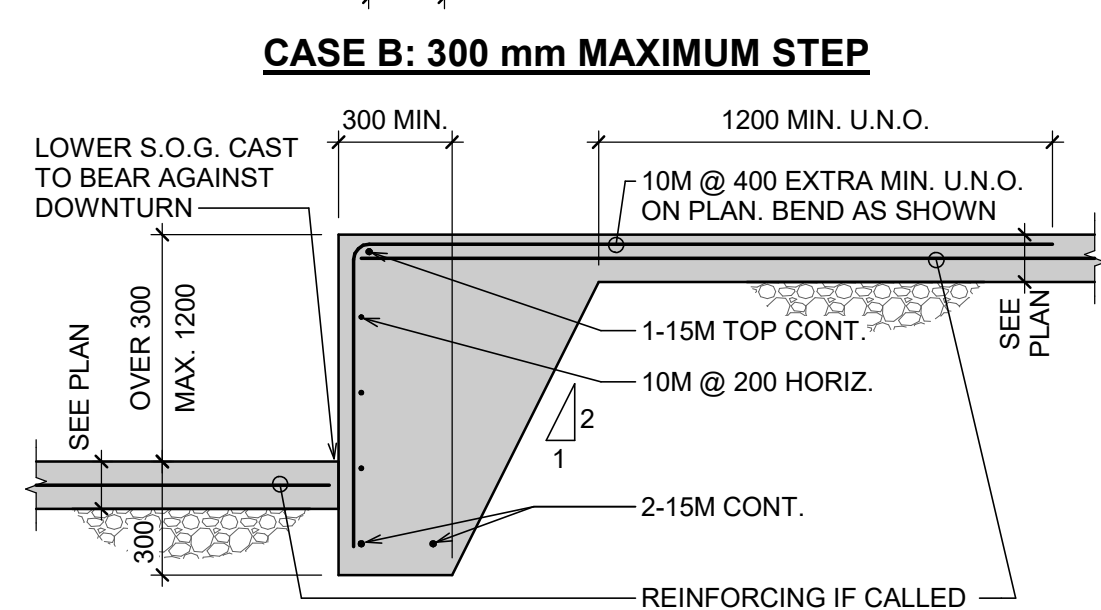
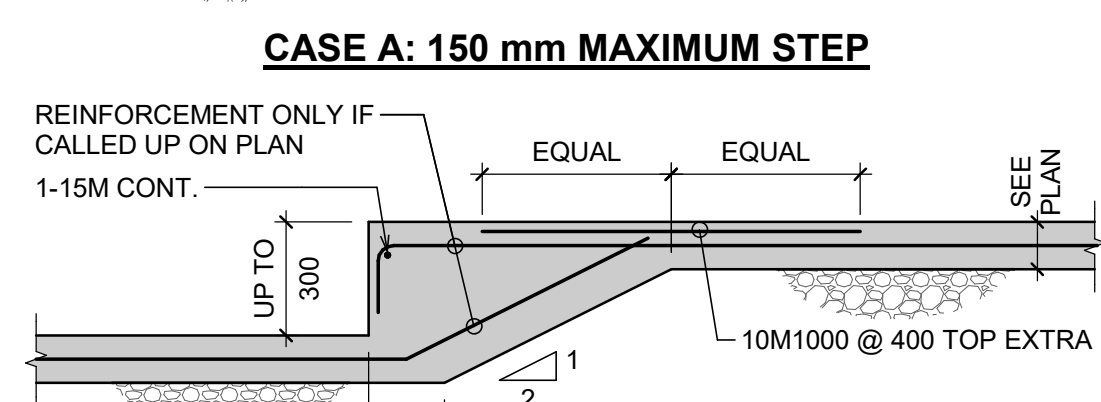
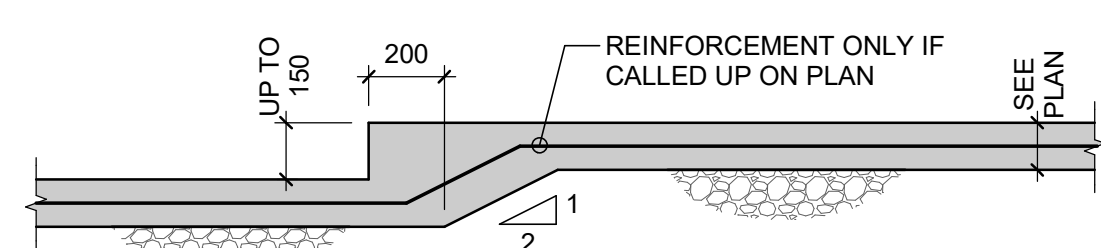


CF012 S005 INTERIOR SHEAR WALL FOOTINGS WITHOUT PEDESTAL
N.T.S.

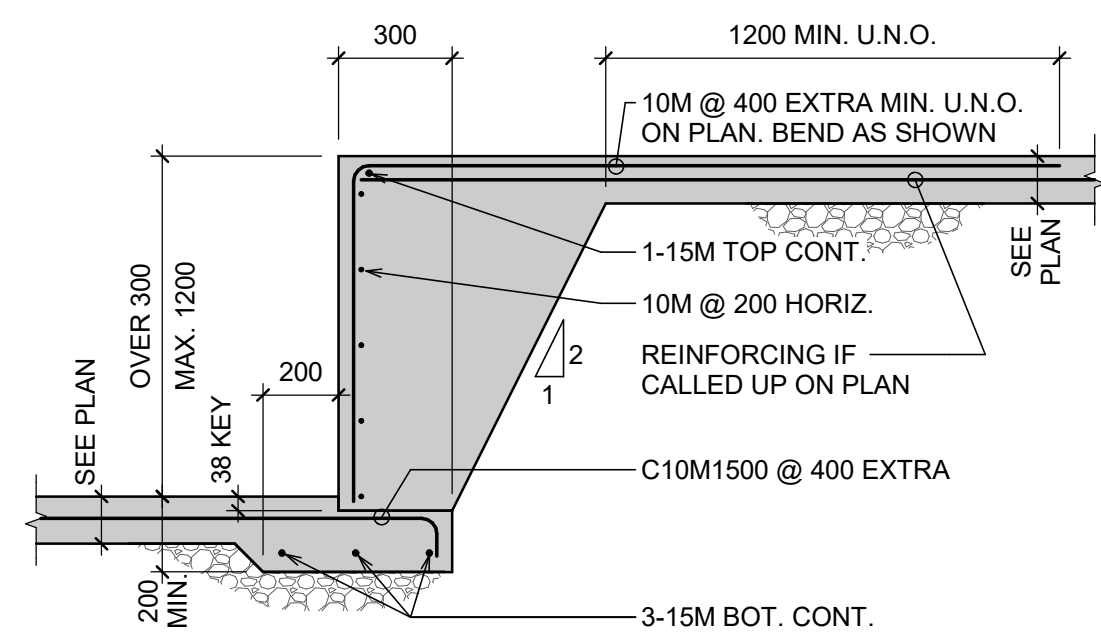


- NOTES:**
1. SEE MECHANICAL AND ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR SIZE, LOCATION AND WATERPROOFING REQUIREMENTS.
 2. PRECAST ALTERNATIVE MAY BE PROPOSED BY CONTRACTOR IF ACCEPTABLE TO ARCHITECT AND MECHANICAL CONSULTANT. STRUCTURAL DESIGN OF PRECAST ALTERNATIVE NOT BY RJC. SUBMIT SHOP DRAWINGS AND RELATED SCHEDULES FOR PRECAST ALTERNATIVE SIGNED AND SEALED BY LICENSED SPECIALTY ENGINEER FOR REVIEW.

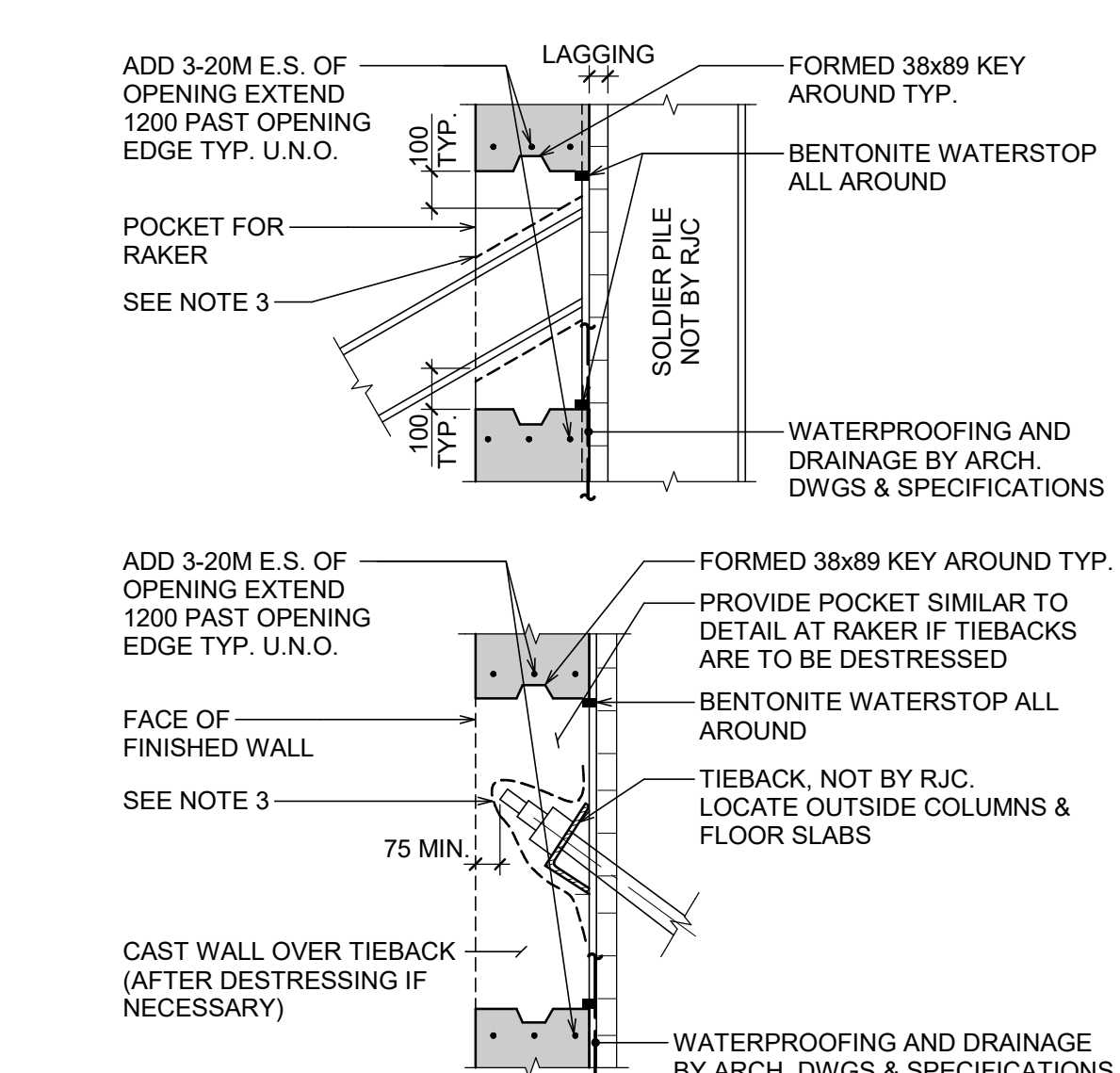
CF301 S005 SUMP / ACCESS PIT
1:20



CASE C: 1200 mm MAXIMUM STEP

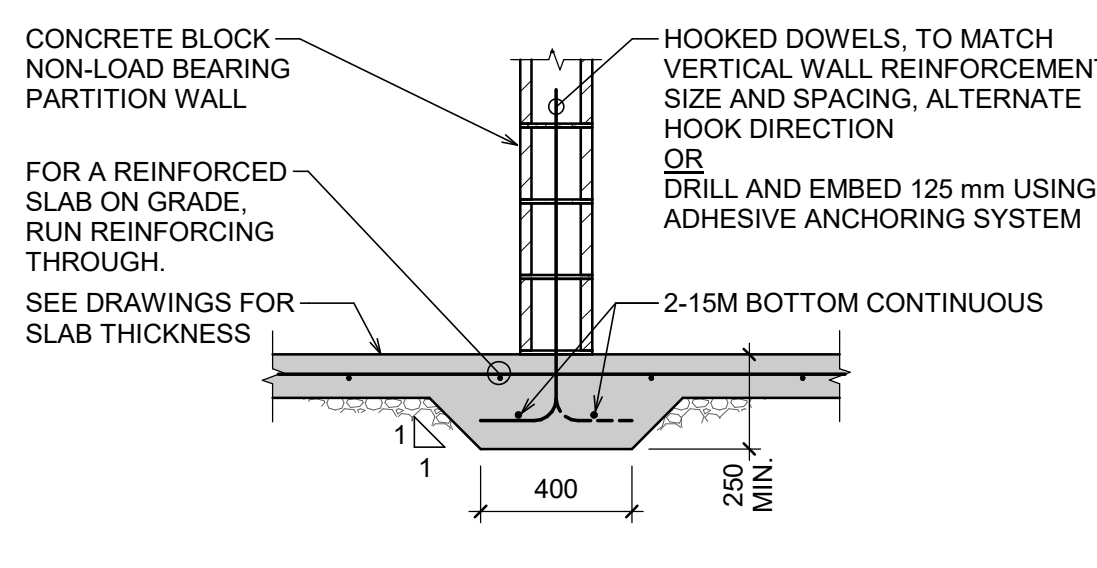


CASE D: 1200 mm MAXIMUM STEP - ALTERNATE

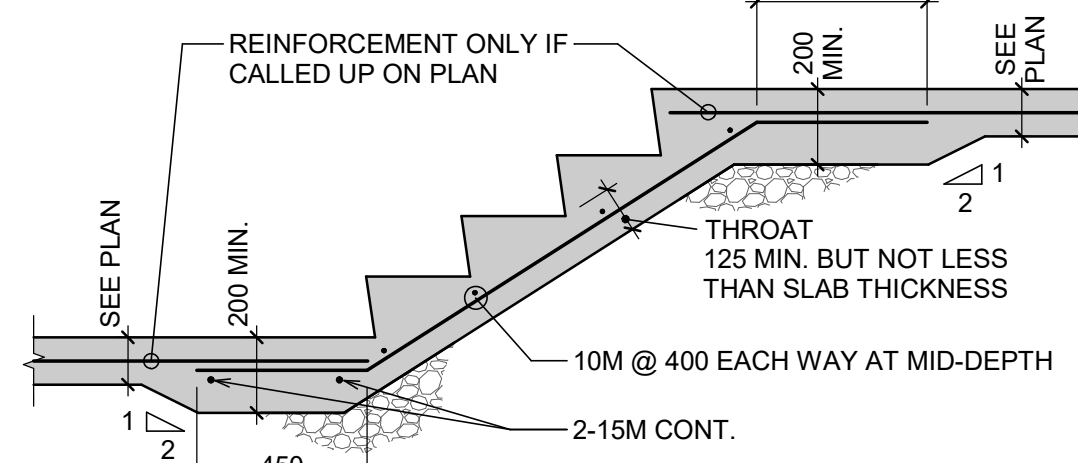


- NOTES:**
1. PROVIDE VERTICAL CONTROL JOINT IN LINE WITH TIE BACK AND RAKER LOCATIONS
 2. DESIGN OF SHORING SYSTEM IS BY THE SHORING CONSULTANT.
 3. PAINT/MASKING/ COATING PER ARCH DWGS & SPECIFICATIONS.

CF303 S005 EXCAVATION SUPPORT SYSTEMS & FOUNDATION WALLS
1:50

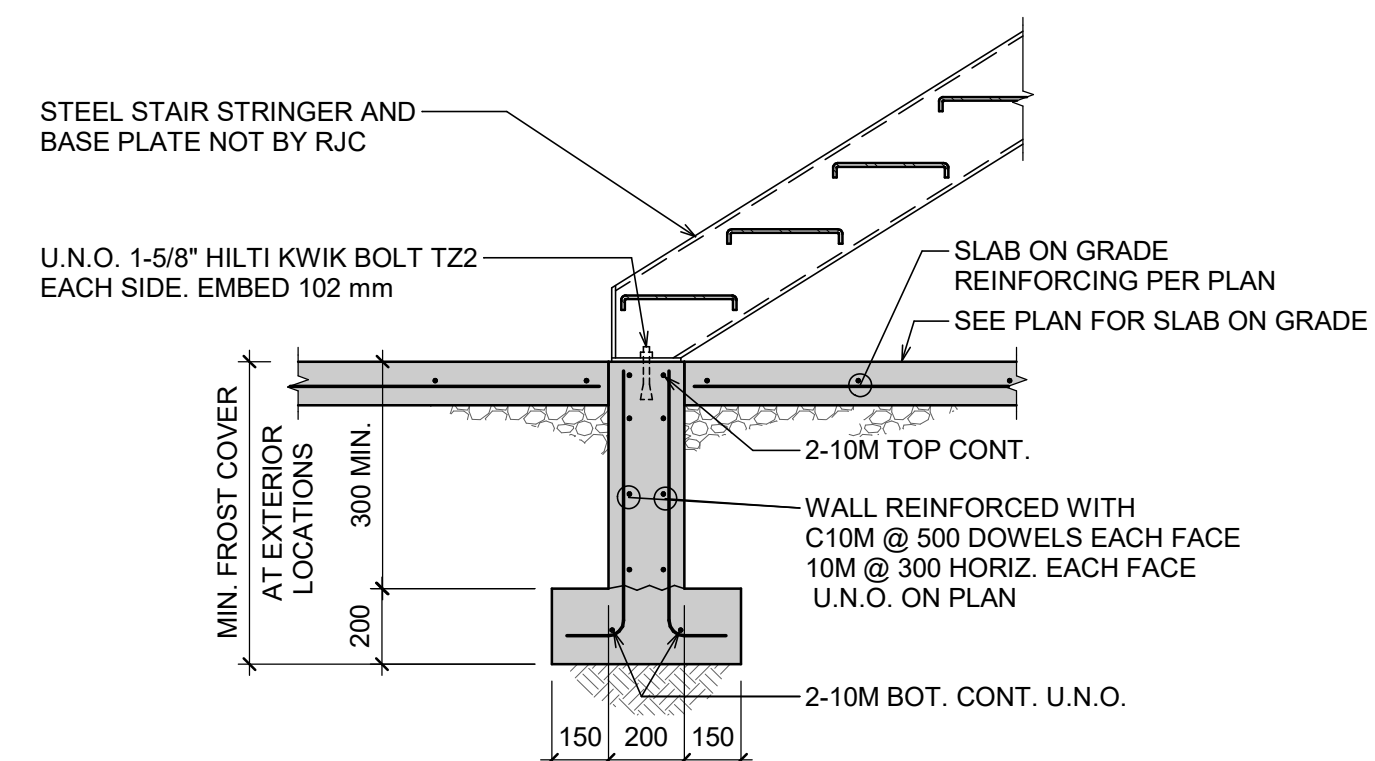


TYPICAL SLAB ON GRADE THICKENING UNDER NON-LOAD BEARING BLOCK PARTITION
CG003 S005 1:20

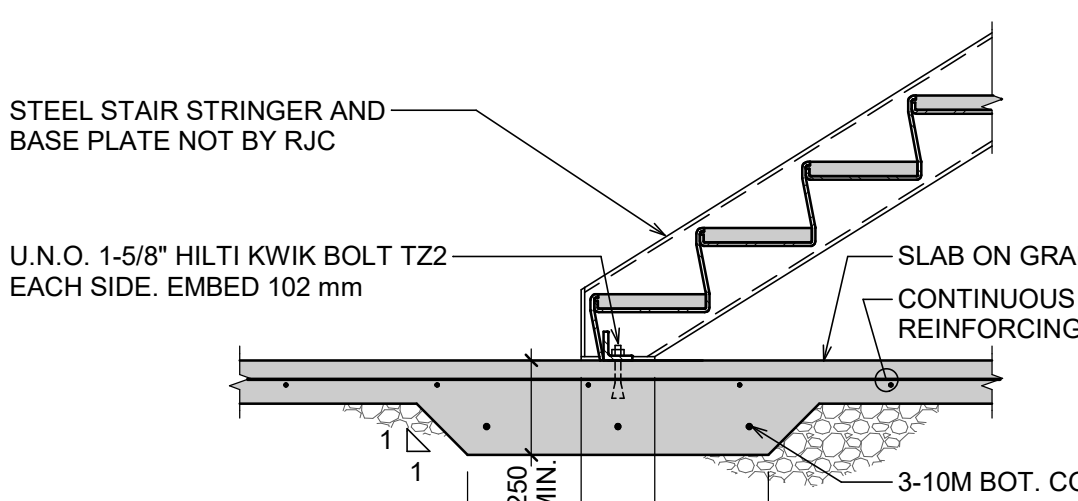


STAIRS (MAXIMUM 12 RISERS)
CG002 S005 1:20

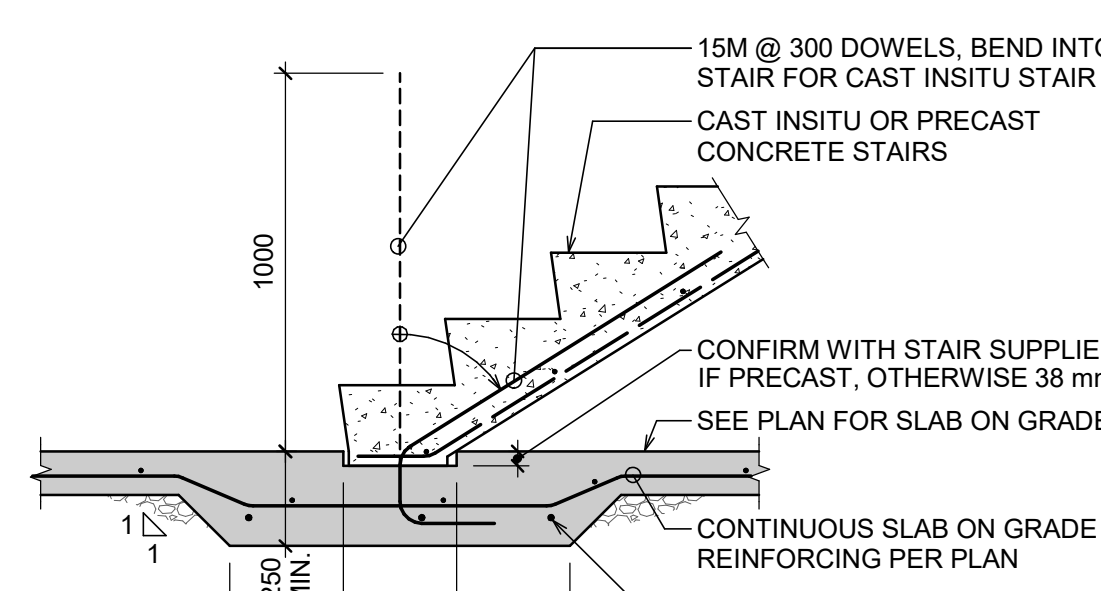
CG001 S005 SLAB ON GRADE STEP DETAILS
1:20



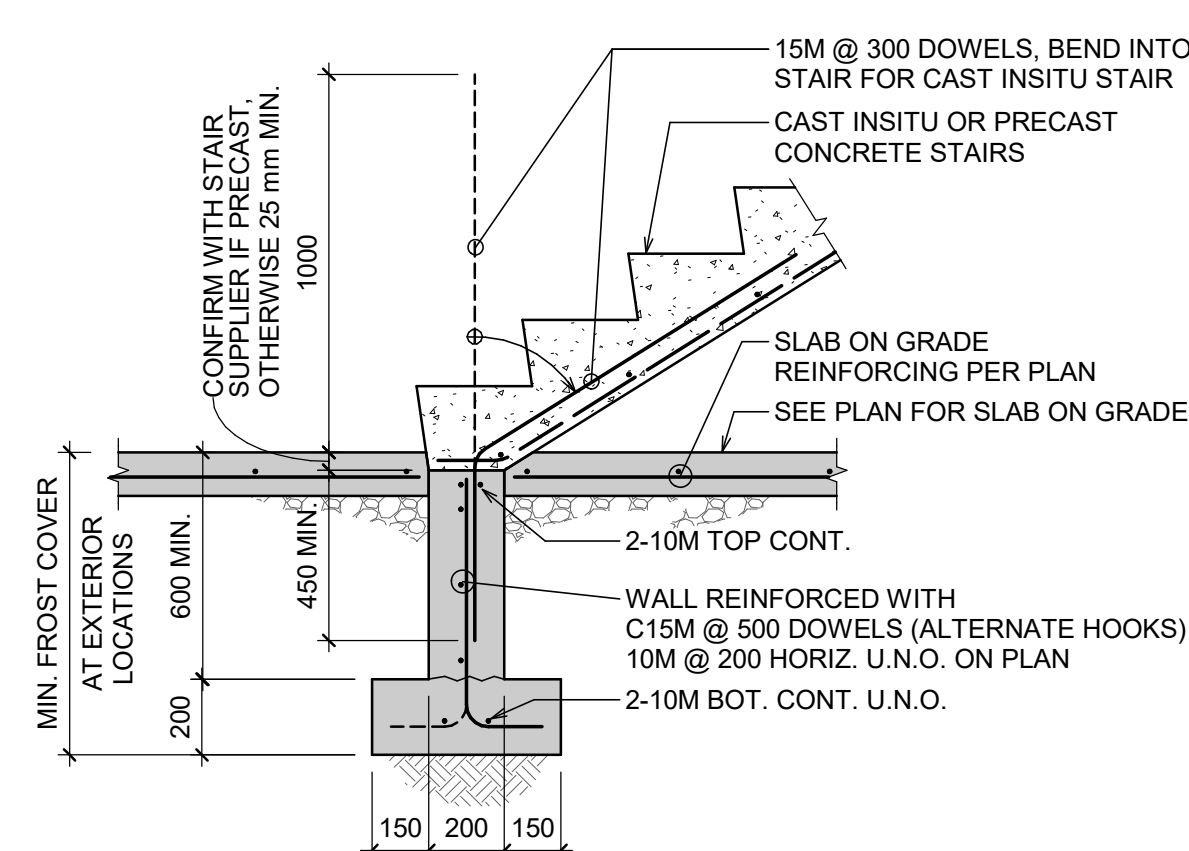
TYPICAL STEEL STAIR BEARING ON FOUNDATION WALL AND FOOTING DETAIL
CST004 S005 1:20



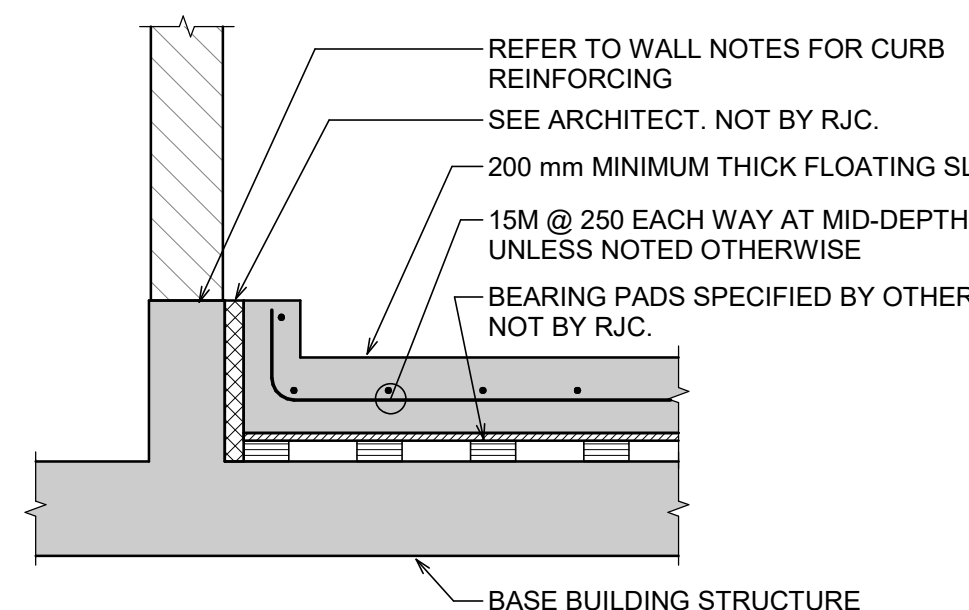
TYPICAL STEEL STAIR BEARING ON SLAB ON GRADE THICKENING DETAIL
CST003 S005 1:20



TYPICAL CONCRETE STAIR BEARING ON SLAB ON GRADE THICKENING DETAIL
CST002 S005 1:20



TYPICAL CONCRETE STAIR BEARING ON FOUNDATION WALL AND FOOTING DETAIL
CST001 S005 1:20



TYPICAL MECHANICAL FLOATING SLAB DETAIL
CH101 S005 1:20

| | | | |
|---|------------|--------------------------|-----|
| 9 | 2026 04 16 | Issued for Addendum#1 | RJC |
| 7 | 2026 02 05 | Issued for Tender | RJC |
| 6 | 2025 12 15 | Issued for Client Review | RJC |
| 5 | 2025 12 08 | Re-Issued For Permit | RJC |
| 4 | 2025 07 30 | Issued For Tender | RJC |
| 3 | 2025 07 04 | Issued For Permit | RJC |
| 2 | 2025 06 06 | Issued for 66%CD | RJC |
| # | Date | Revision | By |

TYPICAL DETAILS

| | |
|--------------|--------------|
| Scale | As indicated |
| Drawn By | KAJ |
| Reviewed By | ACW |
| Revision No. | 1 |
| Plot Date | 2026-04-16 |

Drawing No.

S005